

Willard City Corporation

435-734-9881
80 W 50 S
PO Box 593
Willard, Utah 84340
www.willardcityut.gov

Mayor

Travis Mote

City Council Members

J. Hulsey

R. Christensen

M. Braegger

R. Mund

J. Bodily

NOTICE

Notice is hereby given that the Conditional Use Permit Review Committee of Willard City Corporation will hold a special meeting at Willard City Hall, 80 West 50 South, on Thursday, April 2, 2026. Said meeting shall start at 3:00 p.m.

Agenda is as follows:

1. Call to order:

2. Business:

- a. Review and consideration of a request from Romero Construction for a conditional use permit to build a construction shop located at approximately 105 West 750 North (02-046-0094)
- b. Consideration and approval of June 25, 2025, minutes

3. Adjourn

CUP Review Committee Meetings: Held as needed based on applications.

I, the undersigned duly appointed and acting Deputy City Recorder for Willard City Corporation, hereby certify that a copy of the foregoing notice was posted at the Willard City Hall, on the State of Utah Public Meeting Notice website <https://www.utah.gov/pmn/index.html>, on the Willard City website www.willardcity.com, and sent to the Box Elder News Journal this 27th day of March, 2026.

/s/ Michelle Drago

Deputy City Recorder

NOTICE OF SPECIAL ACCOMMODATION DURING PUBLIC MEETINGS - In compliance with the American with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City Office at 80 West 50 South, Willard, Utah 84340, phone number (435) 734-9881, at least three working days prior to the meeting.

**CONDITIONAL
USE
ORDINANCE
CHAPTER
24-20**

24.20 CONDITIONAL USES

[24.20.010 Purpose Of Conditional Use Provisions](#)

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HISTORY

Amended by Ord. [2023-2](#) on 3/9/2023

24.20.010 Purpose Of Conditional Use Provisions

The purpose of the issuance of a conditional use permit is to allow the proper integration into Willard City of land uses which may be suitable only under special conditions and in specific locations in Willard City or in the applicable zoning district, or only if such uses are designed or conducted in a particular manner.

HISTORY

Amended by Ord. [2023-2](#) on 3/9/2023

Adopted by Ord. [2025-06](#) on 2/13/2025

24.20.020 Permit Required

A conditional use permit shall be required for all uses listed as conditional uses in the district regulations or elsewhere in this Ordinance.

HISTORY

Amended by Ord. [2023-2](#) on 3/9/2023

Adopted by Ord. [2025-06](#) on 2/13/2025

24.20.030 Application

A Conditional Use Permit Application shall be made to the City Planner on forms provided by the City Planner. Only property owners or their duly authorized agents shall make application for a Conditional Use Permit. No Conditional Use Permit may be processed without the submission of an application, payment of the processing fee, and providing all supporting materials as required by the City Planner, the Conditional Use Review Committee, and this Chapter.

HISTORY

Amended by Ord. [2023-2](#) on 3/9/2023

Adopted by Ord. [2025-06](#) on 2/13/2025

24.20.040 Required Documents

The Conditional Use Permit Application shall be submitted with the material listed in this Section. The City Planner and/or the Conditional Use Review Committee may determine and require items not listed

herein be submitted in order to evaluated the proposed conditional use application. The application for the Conditional Use Permit shall include at least the following:

- A. A written statement explaining details surrounding the proposed Conditional Use Permit Application is consistent with all the standards and requirements of this Chapter and other applicable sections of the Willard City Zoning and Land Use Ordinances.

HISTORY

Amended by Ord. [2023-2](#) on 3/9/2023

Adopted by Ord. [2025-06](#) on 2/13/2025

24.20.050 Public Notice

No public hearing need be held. However, a hearing may be held if the City Planner, Conditional Use Review Committee or the Planning Commission deem a public hearing to be necessary and in the public interest. When such public hearing is required, the City will send notice by mail, at the applicant's sole cost and expense, to all property owners within 500 feet from the location where the proposed conditional use is to be conducted, inform them of the nature of the intended use, the date, time and place of the public hearing, name and address of the applicant and location of the intended use. A complete list of names and addresses of all impacted property owners shall be forwarded to the City by the applicant and where such list is inaccurate or incomplete the conditional use may be denied or revoked.

HISTORY

Amended by Ord. [2023-2](#) on 3/9/2023

Adopted by Ord. [2025-06](#) on 2/13/2025

24.20.060 Conditional Use Review Committee

Upon submission of a Conditional Use Permit Application the City Planner will determine the completeness of the application. If the Conditional Use Application is complete, the City Planner will forward the application and all supporting materials to the Conditional Use Review Committee. The Conditional Use Review Committee shall be comprised of the following individuals: The Chief of Police, Fire Chief, City Attorney, a member of the Planning Commission, Director of Public Works, City Planner, City Engineer, and City Manager. Upon review of the application, proposed site plan if required, and any other necessary documentation or information, the Conditional Use Permit Review Committee will transmit a recommendation for the proposed Conditional Use Permit to the Planning Commission.

HISTORY

Amended by Ord. [2023-2](#) on 3/9/2023

Adopted by Ord. [2025-06](#) on 2/13/2025

24.20.070 Factors To Be Considered By The Conditional Use Review Committee

In considering an application for a Conditional Use Permit, the Conditional Use Review Committee should analyze the following factors and may request information, studies, or data with respect to such factors for the purpose of determining whether a proposed Conditional Use Permit meets the standards set forth in this Chapter:

- A. The suitability of the specific property for the proposed use;

- B. The development or lack of development adjacent to the proposed site and the harmony of the proposed use with existing uses in the vicinity;
- C. Whether the proposed use or facility may be injurious to potential or existing development in the vicinity;
- D. The economic impact of the proposed facility or use on the surrounding area;
- E. The aesthetic impact of the proposed facility or use on the surrounding area;
- F. The present and future requirements for transportation, traffic, water, sewer, and other utilities for the proposed site and surrounding area;
- G. The safeguards proposed or provided to ensure adequate utilities, transportation access, drainage, parking, loading space, lighting, screening, landscaping, open space, fire protection and pedestrian and vehicular circulation;
- H. The safeguards provided or proposed to prevent noxious or offensive omissions such as noise, glare, dust, pollutants and odor from the proposed facility or use;
- I. The safeguards provided or proposed to minimize other adverse effects from the proposed facility or use on persons or property in the area; and
- J. The impact of the proposed facility or use on the health, safety and welfare of the City, the area and persons owning or leasing property in the area

HISTORY

Amended by Ord. [2023-2](#) on 3/9/2023

Adopted by Ord. [2025-06](#) on 2/13/2025

24.20.080 Standards And Criteria For Conditional Use Permit

Upon receiving a recommendation from the Conditional Use Permit Review Committee, the Planning Commission shall consider the following general standards and criteria prior to approving or denying a conditional use permit:

- A. The Conditional Use is authorized in the zoning district where the use is proposed;
- B. The use applied for at the proposed location is necessary or desirable to provide service or facility that will contribute to the general well-being of the area and Willard City;
- C. Compatibility of the proposed use with the interest, function and policies established in the Willard City General Plan;
- D. Compatibility of the proposed use within the character of the site, neighboring properties and other existing and proposed development.
- E. Streets and other means of access to the Conditional Use are adequate to carry anticipated traffic and shall not materially reduce the level of service on adjacent streets;
- F. The Conditional Use shall not unreasonably interfere with the lawful use of surrounding property;
- G. Fencing, screening and landscaping, and other adequate buffering, is provided as needed to protect adjacent property from light, noise and visual impacts associated with the proposed use;
- H. The availability of or ability to provide adequate services, drainage, parking, fire protection, and safe transportation access.

- I. The proposed conditional use will not, under the circumstances of the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the vicinity or interests to property or improvements in the vicinity;
- J. In the event the Planning Commission determines that the standards of this Chapter cannot be met and that adequate mitigation measures cannot be imposed to bring the use into conformity with the applicable standards and criteria, the Planning Commission may deny the request for a conditional use permit.
- K. Within and adjoining the proposed site, the Planning Commission may impose reasonable conditions as deemed necessary for the protection of the site location and adjacent properties and the public interest.

HISTORY

Amended by Ord. [2023-2](#) on 3/9/2023

Adopted by Ord. [2025-06](#) on 2/13/2025

24.20.090 Reasonable Conditions Imposed

The Planning Commission may issue a Conditional Use Permit to be located within any zoning district in which the particular Conditional Use is allowed by the use regulations of this Chapter. In authorizing any Conditional Use, the Planning Commission shall impose such requirements and conditions as required by law and as may be necessary for the protection of neighboring properties and the general welfare of the public. Such conditions of approval may include, but shall not be limited to, limitations or requirements as to a street dedication, the height, size, location and design of structures, landscaping, density, ingress/egress, fencing, parking, screening, buffering parking, hours of operation, or lighting.

HISTORY

Amended by Ord. [2023-2](#) on 3/9/2023

Adopted by Ord. [2025-06](#) on 2/13/2025

24.20.100 Expiration

A Conditional Use Permit shall expire one (1) year after the date of approval and shall be null and void unless the property owner or their duly authorized agent has obtained a Building Permit, where required, or a Business License or other permits or licenses required for the operation. A one (1) year extension may be granted by the Planning Commission when deemed to be in the public interest.

HISTORY

Amended by Ord. [2023-2](#) on 3/9/2023

Adopted by Ord. [2025-06](#) on 2/13/2025

21.20.110 Revocation

A Conditional Use Permit may be revoked by the Planning Commission upon failure to comply with the conditions of the permit, for any violation of this Title occurring on the site for which the permit was approved, or if the use is not maintained or abandoned. Prior to taking action concerning revocation of a Conditional Use Permit, a meeting shall be held by the Planning Commission. Notice of the meeting and the grounds for consideration of revocation shall be mailed to the permittee at least ten (10) days prior to the hearing.

HISTORY

Amended by Ord. [2023-2](#) on 3/9/2023

Adopted by Ord. [2025-06](#) on 2/13/2025

21.20.120 Appeals

Any applicant shall have the right to appeal the decision of the Planning Commission to the designated Hearing Officer under the procedure outlined in Willard City Zoning Code Chapter 12-101-2. Any decision of the Hearing Officer may be appealed by the applicant or City to the District Court within thirty (30) days from the issuance of the written decision.

HISTORY

Amended by Ord. [2023-2](#) on 3/9/2023

Adopted by Ord. [2025-06](#) on 2/13/2025

21.20.130 Review

The Planning Commission may review compliance with an issued Conditional Use Permit at regular intervals at the discretion of the Planning Commission or upon recommendation of the City Planner.

HISTORY

Amended by Ord. [2023-2](#) on 3/9/2023

Adopted by Ord. [2025-06](#) on 2/13/2025

21.20.140 No Presumption Of Approval

The listing of a conditional use in any district does not constitute an assurance that the conditional use shall be approved by the Planning Commission or City Planner. Each conditional use application shall be evaluated individually to determine compliance with the standards set forth in this chapter, the standards of the district where the proposed use shall be located, and any standards applicable to the conditional use.

HISTORY

Amended by Ord. [2023-2](#) on 3/9/2023

Adopted by Ord. [2025-06](#) on 2/13/2025

24.44.030 Uses

No building, structure or land shall be used and no building or structure shall be hereafter erected structurally altered, enlarged or maintained in the multiple use, rural, or residential districts except as provided in this Ordinance. (See Table I)

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TABLE I	MU-40	A-3	A-5	R-1/2	R-1	Old Willard Township
1. Accessory buildings and uses customarily incidental to permitted uses...	P	P	P	P	P	P
2. Accessory uses and buildings customarily incidental to conditional uses...	C	C	C	C	C	C
3. Temporary buildings, for uses incidental to construction work, including living quarters for a guard or night watchman, which buildings must be removed upon completion or abandonment of the construction work...	C	C	C	C	C	C
4. AGRICULTURE AND FORESTRY*						
a. Agriculture, except grazing and pasturing of animals	P	P	P	P	P	P
b. Agriculture, including grazing and pasturing of animals	C	P	P	P	P	P
c. Agriculture, business or industry	C	C	C	C	C	C
d. Animals and fowl for recreation or for family food production for the primary use of persons residing on the premises	P	P	P	P	P	P
e. Nursery or green house, wholesale or retail	C	P	P	P	P	P
f. The tilling of the soil, the raising of crops, horticulture and gardening	C	P	P	P	P	P
g. Farms devoted to raising and marketing chickens, turkeys or other fowl or poultry, fish or frogs, including wholesale and retail sales	C	C	C	C	C	C
h. Forestry, except forest industry	P	P	P	P	P	P
i. Forest industry, such as a sawmill, wood products plant, or others	C	-	-	-	-	-
j. Small-Scale Retail	C	C	C	-	-	-
k. Limited and light manufacturing	C	C	C	-	-	-
l. Storage (Non-Agricultural, Small Scale)	C	C	C	-	-	-

5. APIARY, Private	P	P	C	C	C	C
6 APIARY, Commercial	C	C	C	-	-	-
7. AVIARY, Private or Commercial	C	C	C	C	C	C
8. PLANNED UNIT DEVELOPMENT (PUD) OR CLUSTER SUBDIVISION OF SINGLE FAMILY DWELLINGS: Moved to item 18)						
9. DWELLINGS:						
a. Single-family dwelling	P	P	P	P	P	P
b. Accessory Dwelling Unit, Detached - Per 24.96	P	P	P	P	P	P
c. Accessory Dwelling Unit, Attached - Per 24.96	P	P	P	P	P	P
d. Farm or Ranch Housing (Addressed by ADU, Detached)	C	C	C	C	C	C
e. Manufactured Housing	P	P	P	P	P	P
f. Mobile Homes when not located in a mobile home park or subdivision	C	C	C	C	C	C
10. DUDE RANCH, Family Vacation Ranch	C	C	C	-	-	-
11. Home occupation	P	P	P	P	P	P
12. Household Pets Per 16.12.050	P	P	P	P	P	P
13. Kennel per to 16.12.060	-	C	-	-	-	-
14. Power generation	C	P	P	P	P	P
15. PRIVATE PARK OR RECREATIONAL GROUNDS OR PRIVATE RECREATIONAL CAMP OR RESORT, including accessory supporting dwellings or dwellings	C	C	-	-	-	-
16. Public and quasi-public						
a. Churches	C	P	P	P	P	P
b. Parks, golf courses, swimming pools, and other recreation areas	C	P	P	P	P	P
c. Public buildings	C	P	P	P	P	P
d. Private schools	C	P	P	P	P	P
17. Public stable, riding academy or riding ring, horse show barns or facilities	C	P	P	-	-	-
18. Residential Housing Developments						
a. Master Planned Community	C	C	C	C	C	C
b. Mobile home park	C	C	C	C	C	C
c. Mobile home subdivision	C	C	C	C	C	C

d. Planned Unit Development (PUD) or Cluster Subdivision of Single-family Dwellings	-	-	-	-	-	-
19. SHORT-TERM RENTALS (subject to Short-Term Rental Ordinance)	C	C	C	C	C	C
18. Signs (See Sign Ordinance WZC 24.60)						

***Limited Non-Agricultural Use Provision**

Property owners in an agricultural zone (MU-40, A-3, A-5) may apply for a conditional use permit to utilize up to fifteen percent (15%) of their total parcel area for non-agricultural revenue-generating enterprises.

The proposed use must be:

- a. Compatible with the rural character of the area.
- b. Not a detriment to surrounding agricultural operations.
- c. Compliant with all applicable state and local regulations.

The conditional use permit shall be reviewed by the Conditional Use Review Committee and Planning Commission with conditions as necessary to mitigate potential impacts.

Examples of permitted non-agricultural conditional uses include, but are not limited to:

Small-scale retail sales (e.g., farm stores, artisan goods)

Agricultural tourism (e.g., farm stays, event venues)

Professional services (e.g., home-based businesses)

Limited light manufacturing (e.g., woodworking, small-scale food production)

The City may impose additional requirements regarding parking, traffic, noise, hours of operation, and environmental considerations

HISTORY

Amended by Ord. [2022-9](#) on 12/8/2022

Amended by Ord. [2025-04](#) on 3/27/2025

24.48.030 Uses Not Listed

The Table in this Section provides a listing of permitted and conditionally permitted uses for Commercial and Manufacturing zones within the city. The Table in this section is not comprehensive. In the event a sought-after use is not listed, the City Planner is empowered to interpret the list and determine if the unlisted use is substantially similar in character, origin, and impact to a listed use. In making this determination, the City Planner may, at their sole discretion, ask the Planning Commission for its review and interpretation.

(See TABLE I)

A. Accessory Buildings/dwellings/manufacturing/storage	M	C-G	C-N	TOD (Per 24.9 6)	C-R
Accessory uses and buildings customarily incidental to the permitted uses.	P	P	P	P	-
Single-Family Dwelling	C	C	P	-	-
Multi-Family, Twin Home (Subject to spacing requirements)	C	C	C	P*	-
Multi-Family, Attached (Subject to spacing requirements)	C	C	C	P*	-
Multi-Family, Stacked (Subject to spacing requirements)	C	C	C	P*	-
Accessory Dwelling Unit (ADU), Detached, per WCC 24.96	-	-	C	-	-
Accessory Dwelling Unit (ADU), Attached, per WCC	P	P	P	-	-
Manufacturing/Industrial Heavy	P	C	-	-	-
Manufacturing/Light	P	P	C	-	C
Refineries	-	-	-	-	-
Renewable Energy Systems	C	C	C	-	-
Storage Facility/Units	P	C	-	-	-
Temporary Buildings	C	C	C	-	C
Warehousing/Distribution	P	C	-	-	-
Warehousing/Distribution Motor Fuels/Propane/Plant/Storage Facilities	P	C	-	-	-
B. Public Facilities/Utilities	M	C-N	C-G	TOD	C-
Communication Towers and Antennas	C	C	C	C	C
Churches/Places of Worship	P	P	P	C	-
Community Garden	P	P	C	P	-
Educational Facilities (Public or Private)	p	p	p	C	-
Government or Municipal Offices	P	P	P	P	C
Library or Reading Room, Museum, and other Cultural Services	C	P	P	P	C

Parks, Public or Private/Open Space	P	P	P	P	-
Public Utility installations	P	P	P	P	-
C. Recreations/Entertainment	M	C-N	C-G	TOD	C-R
Auditorium or Performing Arts Center	C	C	C	C	P
Bowling Alley	P	P	-	C	P
Dance Studio	P	P	P	C	-
Dance Club	-	-	-	C	C
Fitness Center	P	P	P	C	C
Golf Course	P	p	C	-	-
Recreation Center	P	P	-	C	P
Recreational Vehicle Park	P	P	-	-	-
Sexually Oriented Businesses: See Willard City General Ordinances Title 9-600	C	-	-	-	-
Swimming Pool	C	P	C	-	-
Theater/Entertainment	C	C	-	P**	C
D. Retail	M	C-N	C-G		
Alcohol or Tobacco Specialty Store	P	P	-	-	P
Christmas Trees Sales	P	p	C	-	C
Convenience Store, With drive-thru	P	P	P	C	P
Convenience Store, Without drive-thru	P	P	P	C	P
Fireworks Stand	C	C	C	-	C
Florist Shop/Nursery	C	C	P	P Flori st only)	C
Fruit Stand	P	P	P	-	P
Grocery Store	P	P	-	P	P
Pet Shop, Including pet grooming	P	P	P	p	p
E. Restaurant/Food Establishments	M	C-N	G-G		
Bakery	P	P	P	P	P
Candy/Ice Cream Store	P	P	P	P	PF
Food Truck, Temporary	P	P	P	P	P
Food Truck, Permanent	C	P	C	-	P
Private Club/Bar/Tavern	P	C P		-	C

Restaurant/Fast Food with drive-thru	P	P	P	C	P
Restaurant/Fast Food without drive-thru	P	P	P	P	P
F. Service	M	C-N	C-G	TOD	C-R
Agriculture, Existing	P	P	P	-	C
Agricultural Industry/Food	P	P	C	-	-
Automobile Service and Sales (Includes Fuel)	P	C	p	-	p
Bank/Credit Union/Financial with drive-thru	P	P	P	C	P
Bank/Credit Union/Financial without drive-thru	P	P	P	P	P
Barber/Beauty Salon/Tanning/Nails/Tattoo	P	P	P	P	P
Business/ Professional Office	P	P	P	P	C
Car Wash	C	C	C	-	C
Childcare/Daycare/Preschool, Commercial	P	P	C	C	C
Dry Cleaning	P	P	P	C	P
Hospital	P	P	P	-	-
Hotel/Motel	P	P	P	-	-
Kennel: See WCC 16.12.060	C	C	C	-	-
Locksmith/Key and Lock	P	P	P	-	P
Laundromat	P	P	P	C	P
Medical, Dental, and Physical Therapy Clinic	P	P	P	C	C
Nursing Home	-	C	C	-	-
Pharmacy	P	P	P	P	P
Residential Facilities for Persons With Disabilities	P	P	P	P	P
Slaughterhouse/Meat Processing	C	C	-	-	-
Towing/Impound Yard	P	C		-	-
Transportation/Trucking	P	P	-	C	C
*Subject to density limit in 24.58.080					
** TOD requires parking study					

HISTORY

Amended by Ord. [2023-2](#) on 3/9/2023Amended by Ord. [2025-04](#) on 3/27/2025

ITEM 2A

Willard City Planning & Zoning

Printed: 03/27/2026

Approximately 105 West 750 North

 Permit/License #
6952383

03/01/2026 - 02/28/2125

Reference Number

Conditional Use Permit

a1a9d030-15c4-11f1-b090-1f0892245ef0

General

 Status
Active

 Application Status
Under Review

Application Review Status

Pre-Review	Documents Received -- Meeting Scheduled	Date Submitted
Planning and Zoning	Not Reviewed	03/01/2026
City Manager	Not Reviewed	
Public Works	Not Reviewed	
Legal	Not Reviewed	
Fire Department	Not Reviewed	
Engineers	Not Reviewed	
Police Department	Not Reviewed	
Final-Review	Not Reviewed	

Fees

Payments

Conditional Use Permit Fee	\$250.00	03/01/2026	Online	\$250.00
Subtotal	\$250.00	Total Paid		\$250.00
Amount Paid	\$250.00			
Total Due	\$0.00			

Application Form Data

(Empty fields are not included)

First Name

Jeff

Last Name

Forsgren

Contact Email

joforsgren@gmail.com

Phone Number

(801) 389-0157

Mailing Street Address

960 West 7850 South

City

Willard

State

UT

Zip Code

84340

Owner First Name

Romero Construction

Owner Last Name

Romero

Phone Number

(435) 225-0188

Email

romero1654@hotmail.com

Owner Street Address

1675 S Hwy 89

City

Perry

State

UT

Zip Code

84302

Street Address

Approximately 105 West 750 North

City

Willard

State

UT

Zip Code

84340

Parcel Number	Legal Description	Legal Description
02-046-0094	PART OF THE NORTHWEST QUARTER OF SEC 23, T 8N, R 2W, SLBM. BEGINNING AT A POINT LOCATED 356.75 FT SOUTH AND 826.89 FT EAST FROM THE NORTHWEST CORNER OF SAID NORTHWEST QUARTER; RUNNING THENCE NORTH 293.75 FT TO THE SOUTH R/W LINE OF 750 NORTH ST; THENCE EAST 361.12 FT ALONG SAID SOUTH R/W LINE; THENCE SOUTH 03*36'13" EAST 294.33 FT; THENCE WEST 379.62 FT TO THE POB.	No Answer

What is the nature of the use of the property that requires a Conditional Use Permit?

Proposed Construction Company Shop and Office

How would you like to submit the adjacent property owner information?

Text Box

List of complete name/address list of all adjacent property owners within 500 feet of the project parcel.

BARKER, FRED 901 NORTH MAIN STREET WILLARD, UT 84340

ORMOND CONSTRUCTION INC PHYSICAL ADDRESS: 186 W 750 N WILLARD UT 84340

MAILING ADDRESS PO BOX 598

WILLARD, UT 84340

BARTHLOME, SHANE 672 N 200 W WILLARD, UT 84340

HARROP, BLAKE OWNER ADDRESS 632 N 200 W WILLARD, UT 84340

BEARD LYNN Q 275 W 750 N WILLARD, UT 84340

BLACK HAWTHORNE LLC 275 W 750 N ATTN: LYNN Q BEARD WILLARD, UT 84340

BACKCOUNTRY INVESTMENTS LLC 325 N 200 W WILLARD, UT 84340

Bailey V Properties, LLC Contact: Brent Bailey 1243 N Washington Blvd Ogden, UT 84404

Site Plan

Romero Construction 3-1-2026.pdf

Storm Water Development Sheet for Romero Shop 3-1-2026.pdf

Signature

OWNER(S) ACKNOWLEDGEMENT: All application fees must be paid at time of application submittal. No application will be processed until all application fees are paid. Notification and publication fees for required public hearing (cost of individual notices mailed to property owners – current postage rate plus cost of envelope – and cost of legal notice in local newspaper) and engineering review fees will be billed to applicant. Notification fees must be paid within 10 days of billing.

PLEASE NOTE REGARDING FEES: the payment of fees and/or the acceptance of such fees by City staff does not constitute any sort of approval, vesting, or signify that the application is complete or appropriate in any manner. The collection of fees is simply a requirement to begin the review process that will ultimately make such determinations.

I hereby declare under penalty of perjury that this application form and all information submitted as part of this application form is true, complete, and accurate to the best of my knowledge. Should any information or representation submitted in connection with this application form be incorrect or untrue, I understand that Willard City may rescind any approval or sufficiency determination or take other appropriate action.

Electronically Signed

Jeffrey Forsgren - 03/01/2026 4:16 pm



Willard City Planning & Zoning

Home / Transactions

Transaction for Approximately 105 West 750 North

Transaction Info

Date

Mar 1, 2026 4:19pm

Order #

XQH3-06977948-OEEU

Method

ONLINE

Status

✓ SUCCESS

Total Charge

\$250.00

Subtotal

\$250.00

Fees

Code	Name	Amount	
1034100	Conditional Use Permit Fee	\$250.00	<input type="checkbox"/>

Total: \$250.00 / \$250.00

Be aware that editing fees could potentially impact reconciliation with your payment processor.

[+ Add Item](#)

Payment Processor

Processor Used

Xpress Billpay

Transaction #

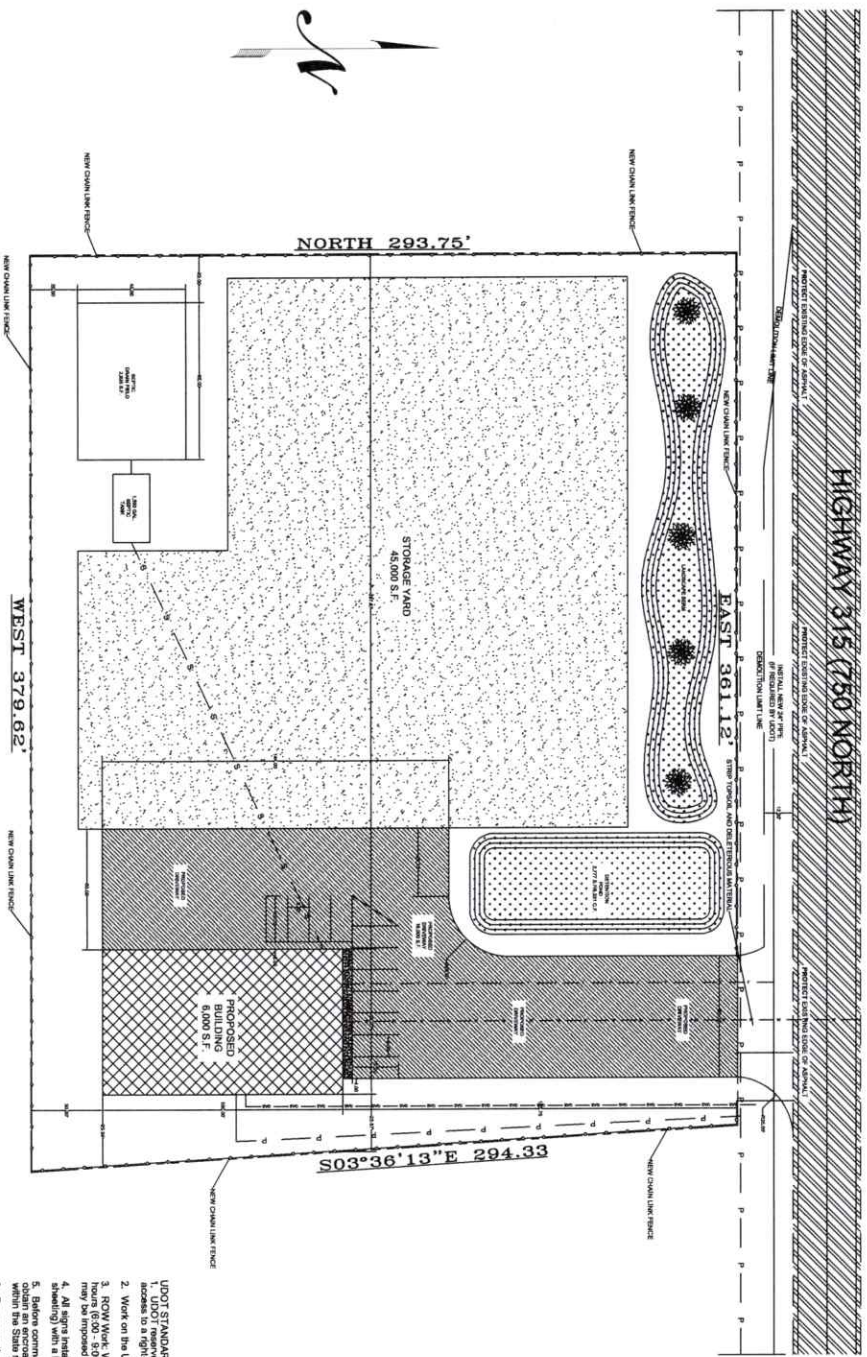


23 NOVEMBER 2025



SCALE 1" = 50'

PLOT PLAN



DEVELOPED AREA	
SITE AREA	128,795 S.F.
APPROXIMATE TOTAL STORAGE YARD	45,000 S.F.
APPROXIMATE BUILDING	8,000 S.F.
APPROXIMATE TOTAL	53,000 S.F.
LANDSCAPING	36,093 S.F.

- UDOT STANDARD NOTES:**
- UDOT reserves the right, at its option, to install a raised median island or restrict the access to a right-of-way or right-of-way at any time.
 - Work on the UDOT right-of-way is seasonally restricted from October 15 to April 15.
 - ROW Work: Work is not allowed on the right-of-way during the AM/PM peak traffic hours (6:00 - 9:00 AM and 3:30 - 6:00 PM). Additional work restrictions or modifications may be imposed at the time of the encroachment permit.
 - All signs installed on the UDOT right-of-way must be light intensity grade Type IX and must be installed in accordance with the UDOT sign specifications.
 - When commencing work on the State highway, the general contractor is required to provide a minimum of 100 feet of advance warning for the UDOT sign specifications within the State right-of-way.
 - For excavations outside of the roadway, backfill with UDOT approved granular borrow and road base. Compaction per UDOT spec. 2055 and 2721.
 - Owner, developer, and/or the contractor is required to hire an independent company for all testing within the UDOT right-of-way.
 - All above ground features including utilities (pipes, fire hydrants, boxes, etc.) must be indicated out of the ASHTO clear zone or a minimum of 18' behind curb.

- GENERAL SITE NOTES:**
- Utility signs to be installed as directed by the Fire Marshal.
 - Utility markings, directional arrows, and stop bars will be provided at each driveway as shown on the plan.
 - Utility signs, arrows, and stop bars will be provided at each driveway as shown on the plan.
 - All encroachments are to be back of curb unless otherwise noted.

CAUTION NOTICE TO CONTRACTOR

The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility company at least 48 hours before any excavation or other work is to be performed in the field. The contractor is to be responsible to relocate all existing utilities which conflict with the proposed improvements shown on the plans.

ALL CONSTRUCTION TO CONFORM TO UDOT STANDARDS AND SPECIFICATIONS IN RIGHT-OF-WAY

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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COMMENTS

ALL WORK IS TO BE CONSISTENT WITH THE BEST BUILDING PRACTICES AND CONFORM TO ALL BUILDING CODE REQUIREMENTS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION.

SCALE: NTS

ROMERO CONSTRUCTION SHOP
125 WEST 750 NORTH
WILLARD, UTAH 84340

F3 ENGINEERING
960 WEST 7850 SOUTH
WILLARD, UTAH 84340

REVISED BY: JEP/OK/2024
DATE: 04/09/2025

SHEET 2

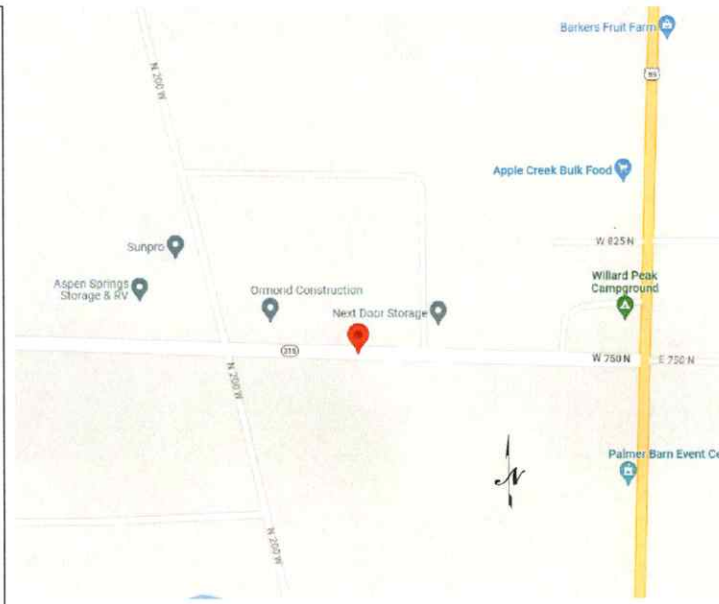
ROMERO CONSTRUCTION SHOP

APPROX. 125 WEST 750 NORTH
WILLARD, UTAH 84340

SCALE: 1" = 20'

LEGEND

—	PROPERTY LINE		EXISTING FIRE HYDRANT
- 4264	EXISTING GRADE CONTOURS		PROPOSED FIRE HYDRANT
4264	PROPOSED GRADE CONTOURS		EXISTING STREET LIGHT
=====	EXISTING CURB		PROPOSED STREET LIGHT
=====	PROPOSED CURB & GUTTER		PROPOSED PARKING LIGHT
=====	PROPOSED CURB WALL		EXISTING WATER METER
! ! !	REVERSE PAN CURB & GUTTER		EXISTING WATER VALVE
- 55	EXISTING SEWER		EXISTING GATE VALVE
- 55	PROPOSED SEWER		EXISTING OVERHEAD POWER POLE
- EX	EXISTING WATER	TBC	TOP BACK CONCRETE
- PROP	PROPOSED WATER	FF	FINISHED FLOOR
- 12	EXISTING FIRE LINE	HW	HIGH WATER
- 12	PROPOSED FIRE LINE	TOG	TOP OF GRATE
- 50	EXISTING STORM DRAIN	TOL	TOP OF LID
- 50	PROPOSED STORM DRAIN	IE	INVERT ELEVATION
-	EXISTING GAS	EX	EXISTING
-	PROPOSED GAS	NG	NATURAL GROUND
-	EXISTING OVERHEAD POWER	TOA	TOP OF ASPHALT
-	EXISTING UNDERGROUND POWER	TOC	TOP OF CONCRETE
- TEL	EXISTING TELEPHONE LINE	EOC	EDGE OF CONCRETE
- PROP	PROPOSED TELEPHONE LINE	EOA	EDGE OF ASPHALT
- EX	EXISTING FIBER OPTIC LINE	TOG	TOP OF GRAVEL
- PROP	PROPOSED FIBER OPTIC LINE	TOW	TOP OF WALL
	PROPOSED CONCRETE	TOL	TOP OF LANDSCAPING
	PROPOSED ASPHALT	TOW	TOP OF SIDE WALK
	PROPOSED LANDSCAPING	PROP	PROPOSED
		39.0	TBC CALLOUT UNLESS OTHERWISE DESIGNATED



VICINITY MAP
NOT TO SCALE

SHEET INDEX

- | | | | |
|---------|-------------------------|------|-------------------------------|
| CS | COVER SHEET | FP-3 | FLOOR JOIST PLAN |
| CS-2 | SPECIFICATIONS | FP-4 | FIRST FLOOR FRAMING |
| SH-1 | DEMOLITION PLAN | FP-5 | MAIN FLOOR ELECTRICAL |
| SH-2 | PLOT PLAN | FP-6 | FIRST FLOOR ELECTRICAL |
| SH-3 | GRADING PLAN | SD-1 | STANDARD FOUNDATION DETAILS |
| ELEV -1 | FRONT & BACK ELEVATIONS | SD-2 | STANDARD DETAILS |
| ELEV-2 | SIDE ELEVATIONS | SD-3 | WALL SECTION AND STAIR DETAIL |
| FDN-1 | FOUNDATION LAYOUT | | |
| FDN-2 | FOUNDATION ENGINEERING | | |
| FP-1 | MAIN LEVEL FRAMING | | |
| FP-2 | MAIN LEVEL ENGINEERING | | |

- ### PROJECT CONSTRUCTION NOTES:
- CONTRACTOR TO NOTIFY BLUE STAKES PRIOR TO CONSTRUCTION 1-800-662-4111.
 - SEE PAVEMENT SECTION DETAILS, INSTALLATION SPECIFICATIONS AND ALL SITE EARTHWORK REQUIREMENTS.
 - CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES BEFORE CONSTRUCTION.
 - ALL CONSTRUCTION SHALL CONFORM TO CITY STANDARDS AND SPECIFICATIONS. IF A CONFLICT BETWEEN THESE PLANS AND THE CITY STANDARDS AND SPECIFICATIONS OCCURS, THE CITY STANDARDS AND SPECIFICATIONS SHALL GOVERN.
 - ALL HANDICAP PARKING STALLS TO BE INSTALLED PER ADA STANDARDS, SLOPE ON ANY ADA STALL IS TO BE LESS THAN 2% IN ALL DIRECTIONS.
 - CONTRACTOR TO VERIFY, WITH THE ARCHITECT THAT FINISHED FLOOR ELEVATION SHOWN ON CIVIL PLANS EQUALS THE ARCHITECTS 100.0' ELEVATION.
 - CONTRACTOR TO VERIFY PRIOR TO ANY CONSTRUCTION THAT THE BUILDING AND BUILDING LOCATION SHOWN ON CIVIL DRAWINGS MATCHES THE ARCHITECTURAL PLANS.
 - CONTRACTOR TO REPLACE IN KIND ANY AREAS THAT ARE DAMAGED DURING CONSTRUCTION.
 - INSTALL ALL SIDEWALKS PER CITY STANDARDS OR APWA PLAN NO. 231, 235, AND 236 WERE APPLICABLE.
 - INSTALL ALL CONCRETE PAVEMENT JOINTS PER CITY STANDARDS OR APWA PLAN 261.
 - ALL WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL PER APWA STANDARDS AND SPECIFICATIONS.
 - ALL WATER LINES TO A HAVE A MINIMUM COVER OF 4' WITH A MINIMUM VERTICAL CLEARANCE OF 1' OF COVER BETWEEN OTHER UTILITIES (1.5' VERTICAL SEPARATION WITH SEWER).
 - CONTRACTOR SHALL COORDINATE CONSTRUCTION AND INSTALLATION OF ELECTRICAL, TELEPHONE, NATURAL GAS, AND CABLE TV SERVICES WITH THE RESPECTIVE UTILITY COMPANY.
 - THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITY PIPES, LINES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED AND SHOWN FROM SURVEYED INFORMATION AND EXISTING UTILITY LOCATIONS PROVIDED BY OTHERS. THERE IS NO GUARANTEE THAT ALL EXISTING UTILITY INFORMATION IS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR CONTACTING BLUE STAKES AND FIELD VERIFYING THE LOCATION AND ELEVATION OF ALL EXISTING UTILITY PIPES, LINES, AND STRUCTURES PRIOR TO CONSTRUCTION.
 - ALL SEWER WORK TO BE DONE PER MAGNA WATER DISTRICT SPECIFICATIONS.
 - ANY OFF SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING, AND ALL UTILITIES TO BE REPLACED IN KIND.
 - ALL WORK TO BE DONE WITHIN THE PUBLIC WAY SHALL BE DONE BY A LICENSED, BONDED, AND INSURED CONTRACTOR WHO SHALL FIRST OBTAIN A PUBLIC WAY PERMIT. A TRAFFIC CONTROL PERMIT MAY ALSO BE REQUIRED, CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS.



23 NOVEMBER 2025



COMMENTS

F3 ENGINEERING
860 WEST 1860 SOUTH
WILLARD, UTAH 84340

ROMERO CONSTRUCTION SHOP
125 WEST 750 NORTH
WILLARD, UTAH 84340

REVIEWED BY
JEFF FORSGREN
(BOC) 369-0397

DATE:
09 / 08 / 2025

SHEET 05

GENERAL NOTES

1. All work shall comply with the latest adopted editions of the International Building Code (IBC), International Mechanical Code (IMC), International Plumbing Code (IPC), International Fire Code (IFC), and National Electrical Code (NEC) as amended by City Public Works.

2. Where there is a conflict between drawings and specifications or any applicable standard, the higher standard will apply. All work in the City R.O.W. must conform to City Standards.

3. All work in the City R.O.W. must be inspected in coordination with governing City.

4. Construction shall conform to all local, state, and federal regulations including the Americans with Disabilities Act (ADA) and the 2021 International Energy Conservation Code (IECC).

5. The contractor shall verify all dimensions, elevations, and site conditions prior to the start of work and notify the architect/engineer of any discrepancies.

6. All materials and workmanship shall be of the highest quality and conform to industry standards.

7. The contractor is responsible for traffic control, permitting for road work, and closures as required by local regulations.

8. The contractor shall obtain utility locates before beginning any excavation work. Pot-holing is required prior to the main excavation to identify the exact locations of existing utilities.

CONCRETE NOTES

Concrete strength requirements:

1. Concrete for slabs, foundations, and footings shall have a minimum 28-day compressive strength of 4,000 psi.

2. Exterior concrete must be at least 4,500 psi.

3. Concrete shall be placed in accordance with weather conditions, as follows:
The minimum allowable slump for concrete is 4" for general applications and 3" for footwork.

4. All-encasement is required in concrete exposed to freeze-thaw conditions (minimum of 5% air content).

5. Concrete shall not be placed in temperatures below 40°F unless appropriate measures (e.g., heated enclosures or accelerators) are taken.

6. For concrete, ensure that subgrade is firm, stable, and free from excessive moisture or loose material.

7. The parking lot and pedestrian pathways shall be designed to meet ADA slope requirements, with a minimum 2% slope for asphalt and a minimum 1% slope for concrete.

8. All grading shall ensure that stormwater flows in designated directions to the stormwater collection system, preventing pooling or runoff onto adjacent properties.

9. Subgrade preparation:
4. All subgrade for asphalt and concrete must be compacted to 95% of the maximum dry density (as determined by ASTM D1557) before placement.

5. Subgrade material for asphalt should consist of clean, well-graded aggregate with no large rocks or organic material.

6. For concrete, ensure that subgrade is firm, stable, and free from excessive moisture or loose material.

7. The parking lot and drainage systems shall be properly sized to meet occupancy demand and local codes.

8. Floor drains shall be provided in restrooms and any areas subject to water exposure per code.

9. All plumbing fixtures shall be water-conserving type per 2021 IECC requirements.

10. Electrical outlets shall be installed per the National Electrical Code (NEC) and in accordance with occupant preferences.

11. Plumbing systems shall comply with the International Plumbing Code (IPC) and local jurisdictional requirements.

12. All plumbing fixtures shall be water-conserving type per 2021 IECC requirements.

13. Water supply and drainage systems shall be properly sized to meet occupancy demand and local codes.

14. Floor drains shall be provided in restrooms and any areas subject to water exposure per code.

15. Parking lot design shall adhere to ADA requirements for slope, parking stall size, access aisles, and signage.

16. The parking lot must have a 2% minimum slope for drainage, and all accessible parking spaces and access aisles shall have a slope of no more than 2%.

17. Parking stall striping shall be done in compliance with ADA standards, ensuring proper visibility and access.

18. Proper signage shall be installed for ADA parking spaces, including compliant signage for accessible routes.

19. The building is a single-story steel frame structure with steel cladding and a steel roof.

7. Curb and gutter systems shall be graded to allow for proper stormwater drainage, ensuring that water does not collect or cause erosion at the base of curbs.

8. Concrete pavement thickness shall be 6" for all sidewalks, slabs, and drive approaches across the site, with city sidewalks and the sidewalk across the front of the building being 4" thick.

LANDSCAPING NOTES

1. Irrigation systems shall be connected to the utility water system and designed to minimize water usage through efficient practices.

2. The irrigation system must include automatic controllers and sensors for weather-based operation, optimizing water usage and preventing overwatering.

3. Landscaping shall consist of low water usage plants that are suitable for the climate of West Valley City, Utah.

4. Plants should be chosen based on their drought tolerance and ability to thrive in the local environment.

5. Drip irrigation shall be used where appropriate, and spray irrigation shall be minimized to reduce water waste.

6. All plant material shall be maintained in a healthy condition, and soil shall be amended as necessary to ensure proper drainage and growth.

MECHANICAL, ELECTRICAL, AND PLUMBING (MEP) NOTES

1. Fire suppression system requirements are TBD based on final building use and occupancy classification.

2. Shop area: Large natural gas heaters.

3. Office area: Mini-split systems.

4. Electrical service shall be 3-phase per U.S. power standards.

5. All lighting and mechanical systems shall comply with 2021 IECC energy efficiency requirements.

6. Electrical outlets shall be installed per the National Electrical Code (NEC) and in accordance with occupant preferences.

7. Plumbing systems shall comply with the International Plumbing Code (IPC) and local jurisdictional requirements.

8. All plumbing fixtures shall be water-conserving type per 2021 IECC requirements.

9. Water supply and drainage systems shall be properly sized to meet occupancy demand and local codes.

10. Floor drains shall be provided in restrooms and any areas subject to water exposure per code.

PARKING LOT & ADA COMPLIANCE NOTES

1. All parking lot design shall adhere to ADA requirements for slope, parking stall size, access aisles, and signage.

2. The parking lot must have a 2% minimum slope for drainage, and all accessible parking spaces and access aisles shall have a slope of no more than 2%.

3. Parking stall striping shall be done in compliance with ADA standards, ensuring proper visibility and access.

4. Proper signage shall be installed for ADA parking spaces, including compliant signage for accessible routes.

STEEL FRAME & STRUCTURAL NOTES

1. The building is a single-story steel frame structure with steel cladding and a steel roof.

2. All structural steel members shall conform to the latest ASTM standards, including ASTM A36 for mild steel and ASTM A992 for structural shapes.

3. The steel frame shall be designed to resist the effects of seismic forces, wind loads, and dead loads as defined by the IBC and local code requirements.

4. All welding of structural steel shall be performed in accordance with AWS D1.1 and shall be completed by certified welders.

5. All bolts used in the steel frame shall be high-strength, steel bolts, and shall conform to ASTM A325 or A490 standards as applicable.

6. Steel framing components shall be galvanized or coated to prevent corrosion, in accordance with ASTM A123 or A153, as appropriate for the location and environmental conditions.

7. Steel roof and wall cladding shall be installed with proper fasteners and seals to prevent water infiltration and to ensure structural integrity in high wind conditions.

8. Steel frame connections shall be designed to meet the required load-bearing capacity and shall be detailed to ensure proper installation and function.

9. The steel structure shall be designed to meet all applicable seismic, wind, and load-bearing requirements based on local site conditions.

STORMWATER POLLUTION PREVENTION PLAN (SWPPP) NOTES

1. The contractor shall implement and maintain Best Management Practices (BMPs) to prevent erosion, sedimentation, and pollution of stormwater runoff.

2. Silt fences, wattles, or other erosion control measures shall be installed and maintained as required.

3. Storm drain inlets shall be protected from sedimentation and debris during construction.

4. Construction entrances shall be stabilized to minimize tracking of sediment onto public roads.

5. Stockpiles of soil, sand, or other loose materials shall be covered or stabilized to prevent erosion.

6. Temporary and permanent seeding, mulching, or other stabilization methods shall be used as necessary to control dust and erosion.

7. All disturbed areas shall be restored and vegetated per project specifications upon completion of construction.

8. A designated concrete washout area shall be provided and maintained to prevent contamination of stormwater.

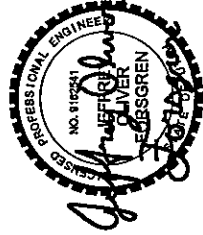
9. The contractor shall comply with all local, state, and federal stormwater regulations and obtain necessary permits.

10. Weekly inspections of SWPPP measures shall be conducted, and any deficiencies shall be corrected immediately.

SUBMITTALS & APPROVALS

1. All materials and equipment shall be submitted for approval prior to installation.

2. As-built drawings shall be provided at the completion of the project.



23 NOVEMBER 2025

SCALE: NPS

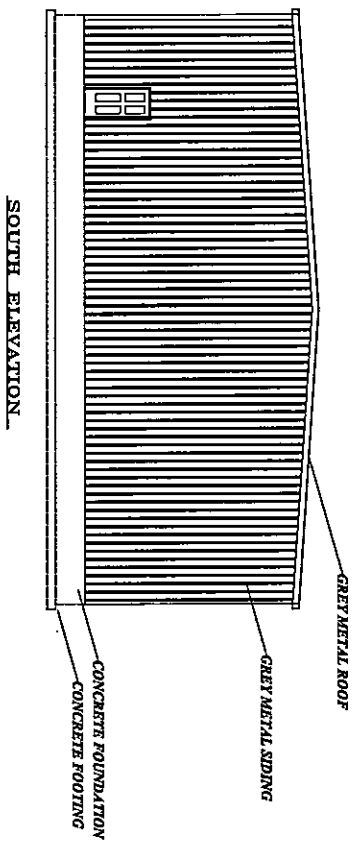
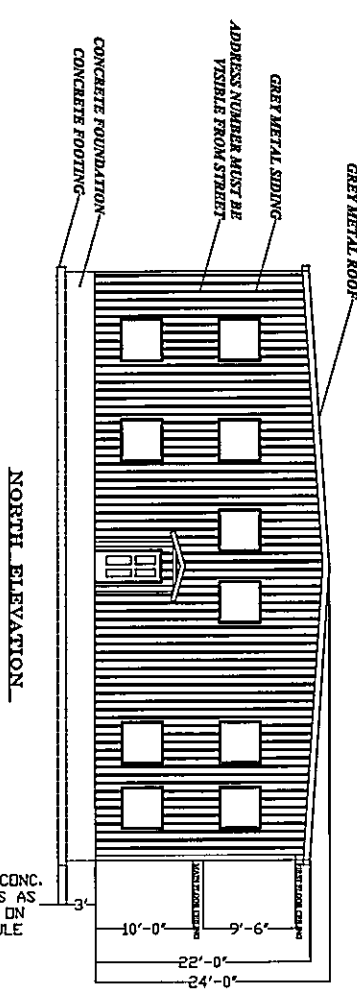
COMMENTS
ALL WORK TO BE CONFORM WITH THE REQUIREMENTS AND SPECIFICATIONS TO ALL BUILDING CODES AND REGULATIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION.

F3 ENGINEERING
960 WEST 7850 SOUTH
WILLARD, UTAH 84340

ROMERO CONSTRUCTION SHOP
125 WEST 750 NORTH
WILLARD, UTAH 84340

REVISIONS BY DATE: 06/01/2025
DATE: 06/01/2025

SHEET 052



SHEET BLV-1
 DATE: 11/23/2025
 DESIGNED BY: JAY FORCEN
 (801)-569-2817

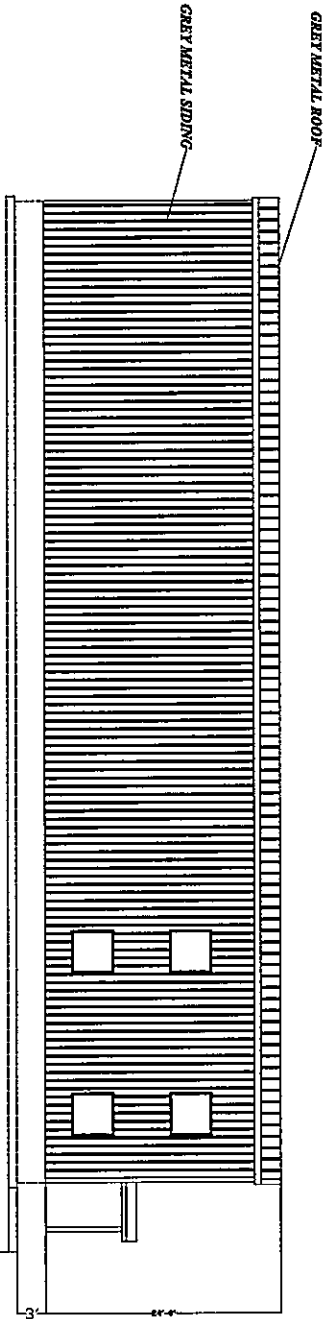
ROMERO CONSTRUCTION SHOP
 125 WEST 750 NORTH
 WILLARD UTAH, 84340

F3 ENGINEERING
 960 WEST 7850 SOUTH
 WILLARD, UTAH 84340

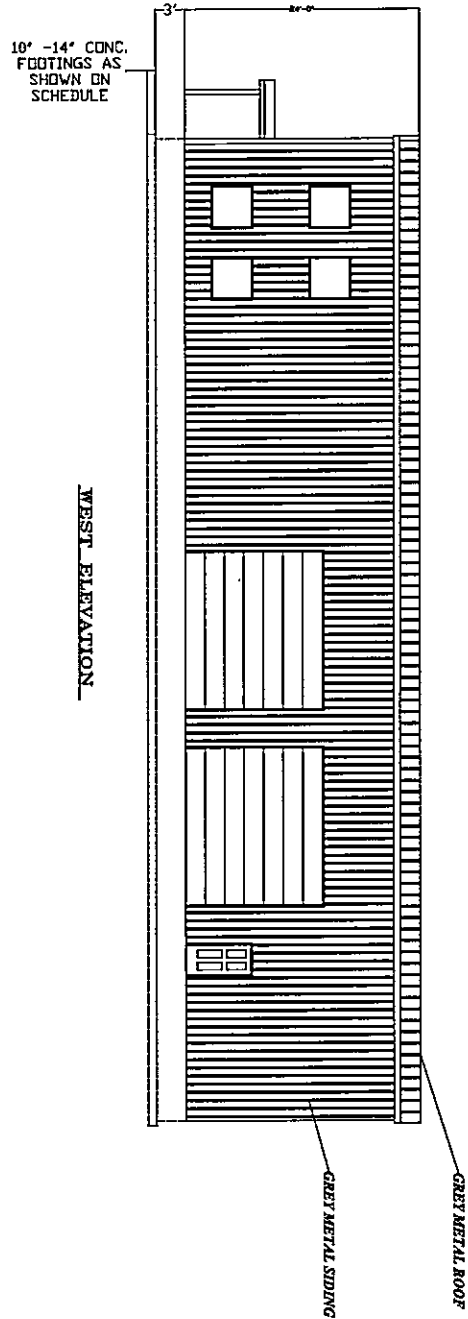
COMMENTS
 ALL WORK IS TO BE CONSISTENT WITH THE BEST BUILDING PRACTICES AND CONFORM TO ALL BUILDING CODE REQUIREMENTS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION.

SOUTH ELEVATION

EAST ELEVATION



WEST ELEVATION



REVISIONS
 DATE: 11/29/2025
 SHEET ELEV-2

ROMERO CONSTRUCTION SHOP
 125 WEST 750 NORTH
 WILLARD UTAH, 84340

F3 ENGINEERING
 960 WEST 7850 SOUTH
 WILLARD, UTAH 84340

COMMENTS
 ALL WORK IS TO BE CONSISTENT WITH THE BEST BUILDING PRACTICES AND CONFORM TO ALL BUILDING CODE REQUIREMENTS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION.

SCALE: N/A

DESIGN CRITERIA

DESIGN CRITERIA

DESIGN CODE	UAC 1997
DESIGN LOADS	AS PER PERMITS
DESIGN WIND	AS PER PERMITS
DESIGN SEISMIC	AS PER PERMITS
DESIGN SOIL	AS PER PERMITS
DESIGN FROST	AS PER PERMITS
DESIGN GRADE	AS PER PERMITS
DESIGN FINISH	AS PER PERMITS

CONCRETE SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE FOLLOWING: ALL CONCRETE SHALL BE PLACED IN ONE RISE AND SHALL BE FINISHED TO THE FINISH GRADE. ALL CONCRETE SHALL BE CURED WITH WET BURLAP AND PLASTERED WITH A 1/2" THICK PLASTER. ALL CONCRETE SHALL BE TESTED IN ACCORDANCE WITH THE PERMITS AND UAC 1997. ALL CONCRETE SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE FOLLOWING: ALL CONCRETE SHALL BE PLACED IN ONE RISE AND SHALL BE FINISHED TO THE FINISH GRADE. ALL CONCRETE SHALL BE CURED WITH WET BURLAP AND PLASTERED WITH A 1/2" THICK PLASTER. ALL CONCRETE SHALL BE TESTED IN ACCORDANCE WITH THE PERMITS AND UAC 1997.

CONCRETE SPECS & DETAILING

ITEM	DESCRIPTION	QUANTITY
1	CONCRETE	1000
2	REBAR	500
3	FORMWORK	200
4	PLASTER	100
5	PAINT	50

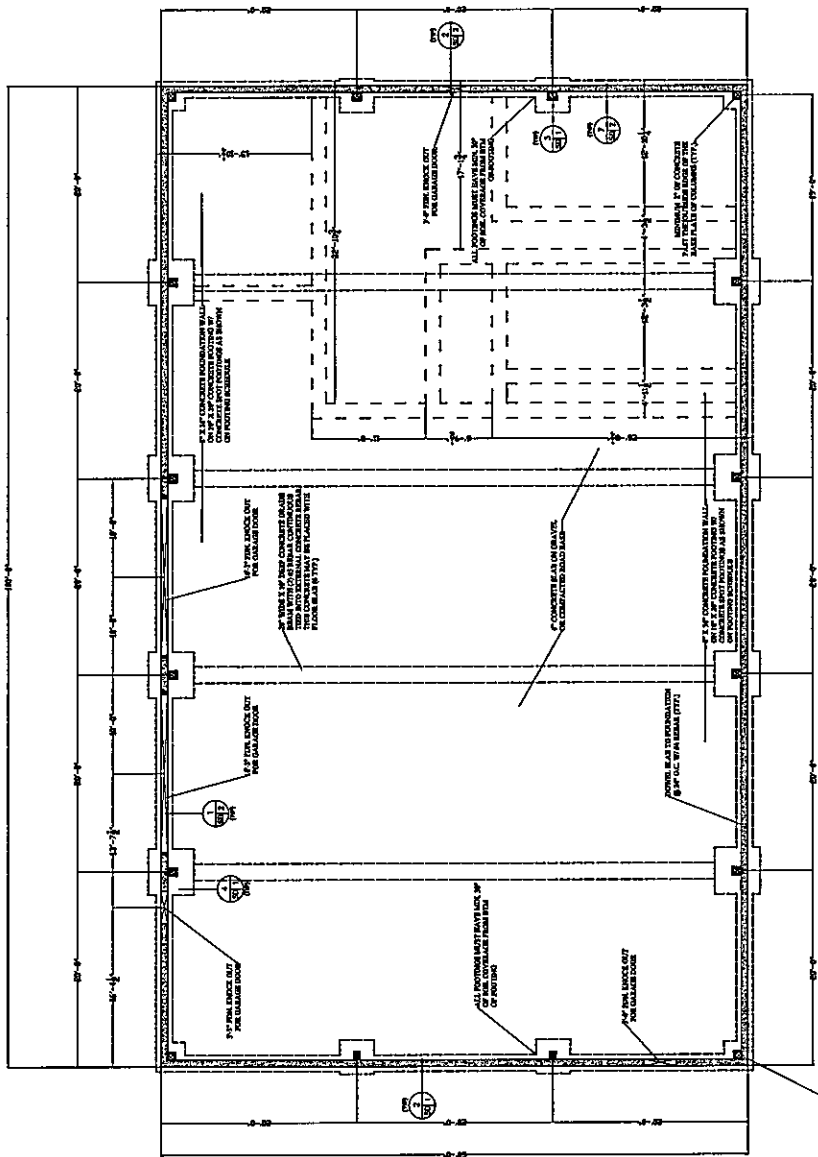
FROST DEPTH, GRADING, DRAINAGE

ITEM	DESCRIPTION	QUANTITY
1	FROST DEPTH	48"
2	GRADING	AS PER PERMITS
3	DRAINAGE	AS PER PERMITS

CONCRETE SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE FOLLOWING: ALL CONCRETE SHALL BE PLACED IN ONE RISE AND SHALL BE FINISHED TO THE FINISH GRADE. ALL CONCRETE SHALL BE CURED WITH WET BURLAP AND PLASTERED WITH A 1/2" THICK PLASTER. ALL CONCRETE SHALL BE TESTED IN ACCORDANCE WITH THE PERMITS AND UAC 1997. ALL CONCRETE SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE FOLLOWING: ALL CONCRETE SHALL BE PLACED IN ONE RISE AND SHALL BE FINISHED TO THE FINISH GRADE. ALL CONCRETE SHALL BE CURED WITH WET BURLAP AND PLASTERED WITH A 1/2" THICK PLASTER. ALL CONCRETE SHALL BE TESTED IN ACCORDANCE WITH THE PERMITS AND UAC 1997.



30 NOVEMBER 2025



FOUNDATION PLAN

- NOTES:
1. ALL REBAR TO BE INSPECTED BEFORE CONCRETE IS PLACED.
 2. ALL REBAR TO BE TIED ACCORDING TO ACCEPTED INDUSTRY STANDARDS.
 3. ALL SPOT FOOTING AND COLUMN REBAR IS #5 UNLESS OTHERWISE NOTED.
 4. FOUNDATION WALLS AND STRIP FOOTINGS REBAR IS #4 UNLESS OTHERWISE NOTED.
 5. CONCRETE STRENGTH MUST BE 3,000 PSI OR STRONGER FOR FOOTINGS AND FOUNDATION.
 6. BOLT PATTERNS AND SPACING FOR STEEL STRUCTURE SHALL BE VERIFIED BEFORE PLACING CONCRETE.
 7. IF WET OR SOFT SOIL CONDITIONS ARE FOUND DURING EXCAVATION THE FOOTING AND FOUNDATION ENGINEER MUST BE CONTACTED FOR ASSESSMENT.
 8. ALL MEASUREMENTS ARE TO BE VERIFIED ON SITE BY THE GENERAL CONTRACTOR OR SUB-CONTRACTOR PERFORMING THE WORK. ENGINEER IS NOT RESPONSIBLE FOR DISCREPANCIES ON DRAWINGS BY OTHERS.

DESIGN CRITERIA

DESIGN CRITERIA	REVISIONS
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE UTAH BUILDING CODE (UBC) AND ALL APPLICABLE CODES AND STANDARDS.	1. 11/29/2025
2. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.	1. 11/29/2025
3. ALL MATERIALS SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.	1. 11/29/2025
4. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.	1. 11/29/2025
5. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ENGINEER AT ALL STAGES.	1. 11/29/2025
6. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ENGINEER AT ALL STAGES.	1. 11/29/2025
7. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ENGINEER AT ALL STAGES.	1. 11/29/2025
8. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ENGINEER AT ALL STAGES.	1. 11/29/2025
9. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ENGINEER AT ALL STAGES.	1. 11/29/2025
10. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ENGINEER AT ALL STAGES.	1. 11/29/2025

NOTE: THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION.

CONCRETE SPECIFICATIONS

ITEM	DESCRIPTION	REMARKS
1	CONCRETE	3000 PSI COMPRESSIVE STRENGTH
2	AGGREGATE	NO. 57
3	WATER	FRESH
4	ADDITIONAL	AS REQUIRED

REVISIONS

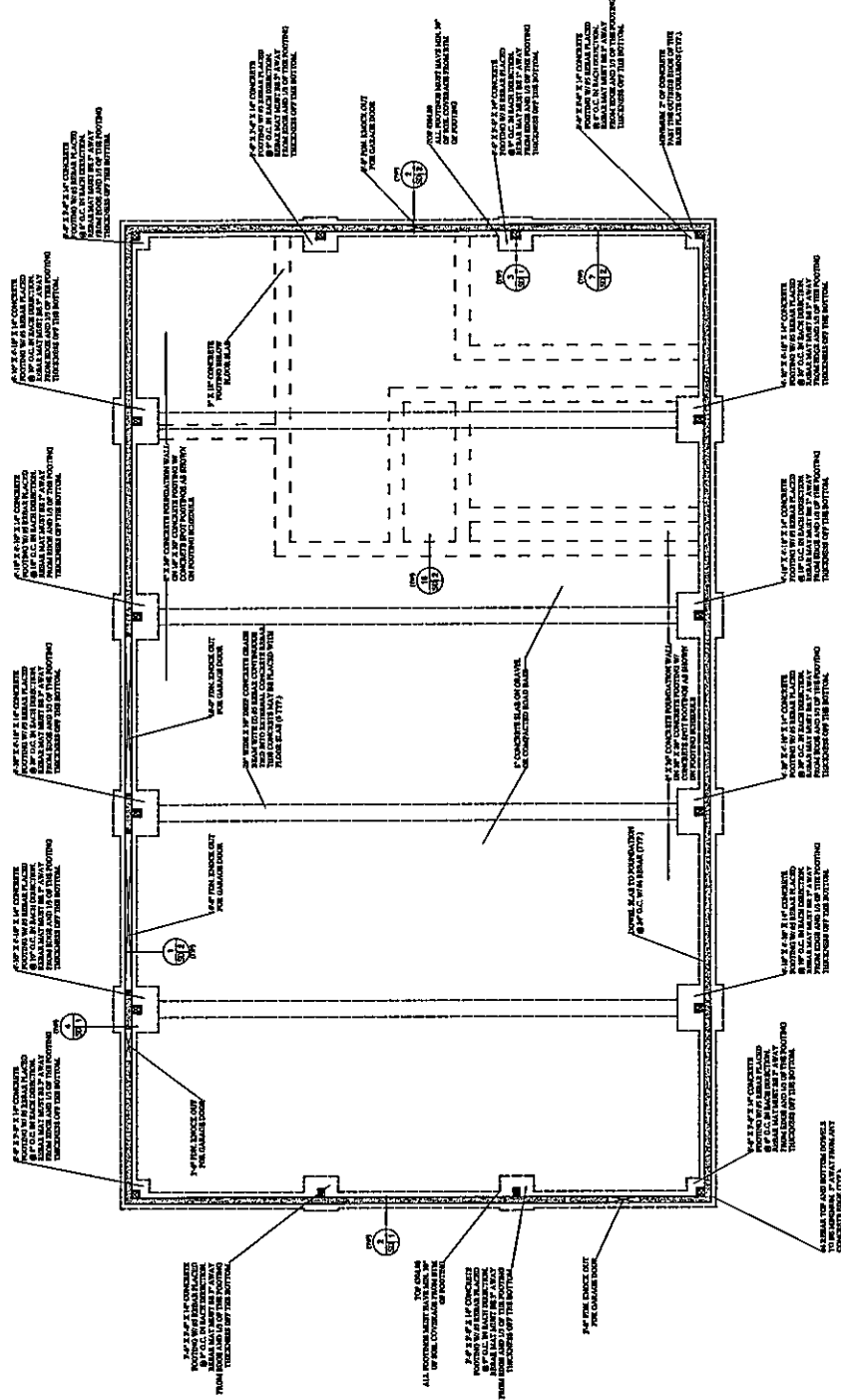
NO.	DATE	DESCRIPTION
1	11/29/2025	ISSUED FOR PERMIT

FOOTING SCHEDULE

FOOTING	DEPTH	GRADING	FINISH
1	4'-0"	FINISH GRADE	FINISH GRADE
2	4'-0"	FINISH GRADE	FINISH GRADE
3	4'-0"	FINISH GRADE	FINISH GRADE
4	4'-0"	FINISH GRADE	FINISH GRADE
5	4'-0"	FINISH GRADE	FINISH GRADE
6	4'-0"	FINISH GRADE	FINISH GRADE
7	4'-0"	FINISH GRADE	FINISH GRADE
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100	4'-0"	FINISH GRADE	FINISH GRADE



23 NOVEMBER 2025



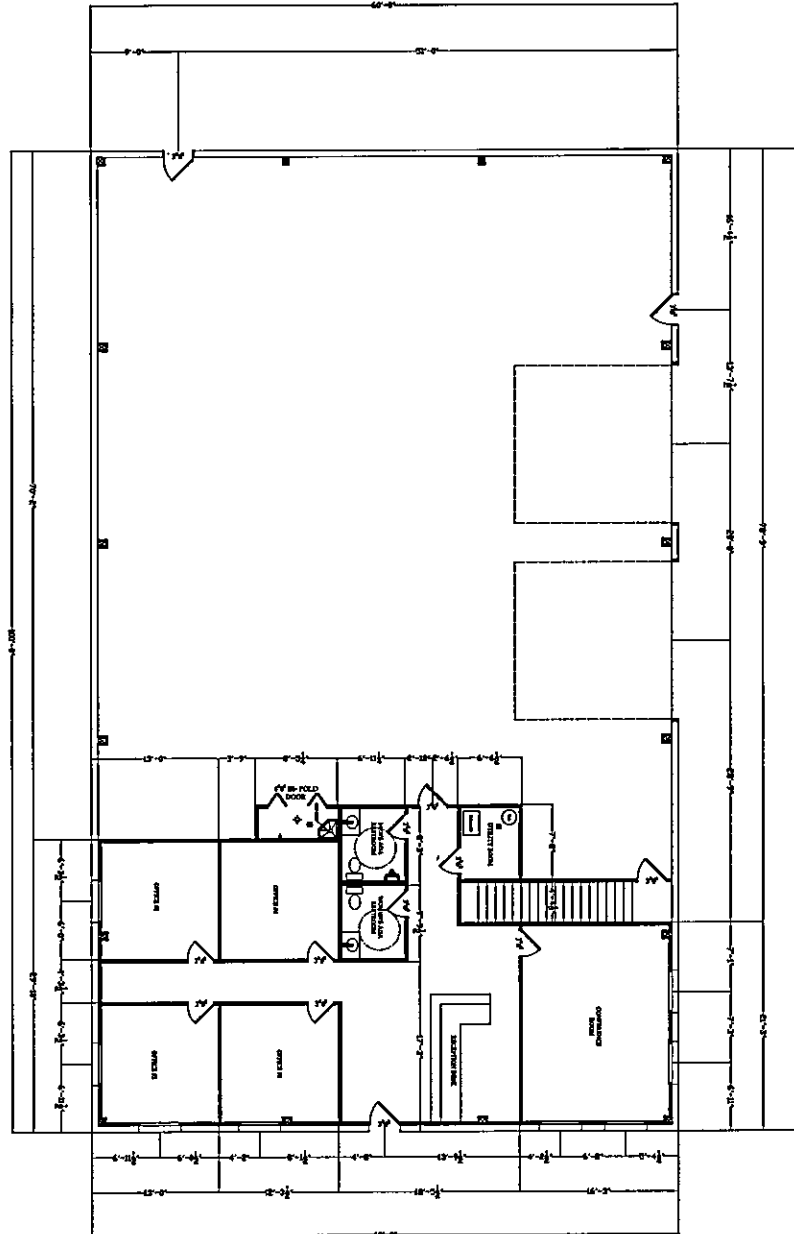
FOOTING SCHEDULE

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS, LEVELS, ELEVATIONS, AND ORIENTATIONS FROM EXISTING CONDITIONS.
 2. THE WORK SHALL BE IN ACCORDANCE WITH THE UTAH BUILDING CODE AND ALL APPLICABLE REGULATIONS.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 5. ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED.
 6. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
 8. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL WORK DONE AND SUBMIT THEM TO THE ARCHITECT UPON COMPLETION.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
 10. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

WOOD FRAMING

1. ALL WOOD SHALL BE DRY-KILN DRIED TO A MAXIMUM MOISTURE CONTENT OF 19% AT THE TIME OF INSTALLATION.
 2. ALL WOOD SHALL BE TREATED WITH AN APPROPRIATE PRESERVATIVE TO PROTECT AGAINST TERMITES AND OTHER INSECT DAMAGE.
 3. ALL WOOD SHALL BE PROTECTED AGAINST WEATHER AND MOISTURE DAMAGE.
 4. ALL WOOD SHALL BE INSTALLED IN ACCORDANCE WITH THE UTAH BUILDING CODE AND ALL APPLICABLE REGULATIONS.
 5. ALL WOOD SHALL BE INSTALLED IN ACCORDANCE WITH THE UTAH BUILDING CODE AND ALL APPLICABLE REGULATIONS.
 6. ALL WOOD SHALL BE INSTALLED IN ACCORDANCE WITH THE UTAH BUILDING CODE AND ALL APPLICABLE REGULATIONS.
 7. ALL WOOD SHALL BE INSTALLED IN ACCORDANCE WITH THE UTAH BUILDING CODE AND ALL APPLICABLE REGULATIONS.
 8. ALL WOOD SHALL BE INSTALLED IN ACCORDANCE WITH THE UTAH BUILDING CODE AND ALL APPLICABLE REGULATIONS.
 9. ALL WOOD SHALL BE INSTALLED IN ACCORDANCE WITH THE UTAH BUILDING CODE AND ALL APPLICABLE REGULATIONS.
 10. ALL WOOD SHALL BE INSTALLED IN ACCORDANCE WITH THE UTAH BUILDING CODE AND ALL APPLICABLE REGULATIONS.



NOTES TO PLAN:

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED.
 3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
 5. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL WORK DONE AND SUBMIT THEM TO THE ARCHITECT UPON COMPLETION.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
 7. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

FLOOR PLAN

DESIGN CRITERIA

Item	Description	Value
1	Wind Speed	100 mph
2	Seismic Risk	Zone 2
3	Soil Conditions	Good
4	Temperature	40°F to 100°F
5	Humidity	30% to 70%
6	Relative Humidity	30% to 70%
7	Barometric Pressure	29.92 in. Hg
8	Altitude	5000 ft
9	Latitude	39° 40' N
10	Longitude	109° 50' W

BEAM SCHEDULE

Beam ID	Span	Supports	Notes
B1	12'-0"	1-1, 1-2	12" x 16" x 18'
B2	12'-0"	1-2, 1-3	12" x 16" x 18'
B3	12'-0"	1-3, 1-4	12" x 16" x 18'
B4	12'-0"	1-4, 1-5	12" x 16" x 18'
B5	12'-0"	1-5, 1-6	12" x 16" x 18'
B6	12'-0"	1-6, 1-7	12" x 16" x 18'
B7	12'-0"	1-7, 1-8	12" x 16" x 18'
B8	12'-0"	1-8, 1-9	12" x 16" x 18'
B9	12'-0"	1-9, 1-10	12" x 16" x 18'
B10	12'-0"	1-10, 1-11	12" x 16" x 18'
B11	12'-0"	1-11, 1-12	12" x 16" x 18'
B12	12'-0"	1-12, 1-13	12" x 16" x 18'
B13	12'-0"	1-13, 1-14	12" x 16" x 18'
B14	12'-0"	1-14, 1-15	12" x 16" x 18'
B15	12'-0"	1-15, 1-16	12" x 16" x 18'
B16	12'-0"	1-16, 1-17	12" x 16" x 18'
B17	12'-0"	1-17, 1-18	12" x 16" x 18'
B18	12'-0"	1-18, 1-19	12" x 16" x 18'
B19	12'-0"	1-19, 1-20	12" x 16" x 18'
B20	12'-0"	1-20, 1-21	12" x 16" x 18'
B21	12'-0"	1-21, 1-22	12" x 16" x 18'
B22	12'-0"	1-22, 1-23	12" x 16" x 18'
B23	12'-0"	1-23, 1-24	12" x 16" x 18'
B24	12'-0"	1-24, 1-25	12" x 16" x 18'
B25	12'-0"	1-25, 1-26	12" x 16" x 18'
B26	12'-0"	1-26, 1-27	12" x 16" x 18'
B27	12'-0"	1-27, 1-28	12" x 16" x 18'
B28	12'-0"	1-28, 1-29	12" x 16" x 18'
B29	12'-0"	1-29, 1-30	12" x 16" x 18'
B30	12'-0"	1-30, 1-31	12" x 16" x 18'
B31	12'-0"	1-31, 1-32	12" x 16" x 18'
B32	12'-0"	1-32, 1-33	12" x 16" x 18'
B33	12'-0"	1-33, 1-34	12" x 16" x 18'
B34	12'-0"	1-34, 1-35	12" x 16" x 18'
B35	12'-0"	1-35, 1-36	12" x 16" x 18'
B36	12'-0"	1-36, 1-37	12" x 16" x 18'
B37	12'-0"	1-37, 1-38	12" x 16" x 18'
B38	12'-0"	1-38, 1-39	12" x 16" x 18'
B39	12'-0"	1-39, 1-40	12" x 16" x 18'
B40	12'-0"	1-40, 1-41	12" x 16" x 18'
B41	12'-0"	1-41, 1-42	12" x 16" x 18'
B42	12'-0"	1-42, 1-43	12" x 16" x 18'
B43	12'-0"	1-43, 1-44	12" x 16" x 18'
B44	12'-0"	1-44, 1-45	12" x 16" x 18'
B45	12'-0"	1-45, 1-46	12" x 16" x 18'
B46	12'-0"	1-46, 1-47	12" x 16" x 18'
B47	12'-0"	1-47, 1-48	12" x 16" x 18'
B48	12'-0"	1-48, 1-49	12" x 16" x 18'
B49	12'-0"	1-49, 1-50	12" x 16" x 18'
B50	12'-0"	1-50, 1-51	12" x 16" x 18'
B51	12'-0"	1-51, 1-52	12" x 16" x 18'
B52	12'-0"	1-52, 1-53	12" x 16" x 18'
B53	12'-0"	1-53, 1-54	12" x 16" x 18'
B54	12'-0"	1-54, 1-55	12" x 16" x 18'
B55	12'-0"	1-55, 1-56	12" x 16" x 18'
B56	12'-0"	1-56, 1-57	12" x 16" x 18'
B57	12'-0"	1-57, 1-58	12" x 16" x 18'
B58	12'-0"	1-58, 1-59	12" x 16" x 18'
B59	12'-0"	1-59, 1-60	12" x 16" x 18'
B60	12'-0"	1-60, 1-61	12" x 16" x 18'
B61	12'-0"	1-61, 1-62	12" x 16" x 18'
B62	12'-0"	1-62, 1-63	12" x 16" x 18'
B63	12'-0"	1-63, 1-64	12" x 16" x 18'
B64	12'-0"	1-64, 1-65	12" x 16" x 18'
B65	12'-0"	1-65, 1-66	12" x 16" x 18'
B66	12'-0"	1-66, 1-67	12" x 16" x 18'
B67	12'-0"	1-67, 1-68	12" x 16" x 18'
B68	12'-0"	1-68, 1-69	12" x 16" x 18'
B69	12'-0"	1-69, 1-70	12" x 16" x 18'
B70	12'-0"	1-70, 1-71	12" x 16" x 18'
B71	12'-0"	1-71, 1-72	12" x 16" x 18'
B72	12'-0"	1-72, 1-73	12" x 16" x 18'
B73	12'-0"	1-73, 1-74	12" x 16" x 18'
B74	12'-0"	1-74, 1-75	12" x 16" x 18'
B75	12'-0"	1-75, 1-76	12" x 16" x 18'
B76	12'-0"	1-76, 1-77	12" x 16" x 18'
B77	12'-0"	1-77, 1-78	12" x 16" x 18'
B78	12'-0"	1-78, 1-79	12" x 16" x 18'
B79	12'-0"	1-79, 1-80	12" x 16" x 18'
B80	12'-0"	1-80, 1-81	12" x 16" x 18'
B81	12'-0"	1-81, 1-82	12" x 16" x 18'
B82	12'-0"	1-82, 1-83	12" x 16" x 18'
B83	12'-0"	1-83, 1-84	12" x 16" x 18'
B84	12'-0"	1-84, 1-85	12" x 16" x 18'
B85	12'-0"	1-85, 1-86	12" x 16" x 18'
B86	12'-0"	1-86, 1-87	12" x 16" x 18'
B87	12'-0"	1-87, 1-88	12" x 16" x 18'
B88	12'-0"	1-88, 1-89	12" x 16" x 18'
B89	12'-0"	1-89, 1-90	12" x 16" x 18'
B90	12'-0"	1-90, 1-91	12" x 16" x 18'
B91	12'-0"	1-91, 1-92	12" x 16" x 18'
B92	12'-0"	1-92, 1-93	12" x 16" x 18'
B93	12'-0"	1-93, 1-94	12" x 16" x 18'
B94	12'-0"	1-94, 1-95	12" x 16" x 18'
B95	12'-0"	1-95, 1-96	12" x 16" x 18'
B96	12'-0"	1-96, 1-97	12" x 16" x 18'
B97	12'-0"	1-97, 1-98	12" x 16" x 18'
B98	12'-0"	1-98, 1-99	12" x 16" x 18'
B99	12'-0"	1-99, 1-100	12" x 16" x 18'
B100	12'-0"	1-100, 1-101	12" x 16" x 18'

WALL STUD HEIGHTS & LOAD REDUCTIONS

Wall ID	Height	Load Reduction	Notes
W1	8'-0"	0.80	8' max height
W2	8'-0"	0.80	8' max height
W3	8'-0"	0.80	8' max height
W4	8'-0"	0.80	8' max height
W5	8'-0"	0.80	8' max height
W6	8'-0"	0.80	8' max height
W7	8'-0"	0.80	8' max height
W8	8'-0"	0.80	8' max height
W9	8'-0"	0.80	8' max height
W10	8'-0"	0.80	8' max height
W11	8'-0"	0.80	8' max height
W12	8'-0"	0.80	8' max height
W13	8'-0"	0.80	8' max height
W14	8'-0"	0.80	8' max height
W15	8'-0"	0.80	8' max height
W16	8'-0"	0.80	8' max height
W17	8'-0"	0.80	8' max height
W18	8'-0"	0.80	8' max height
W19	8'-0"	0.80	8' max height
W20	8'-0"	0.80	8' max height
W21	8'-0"	0.80	8' max height
W22	8'-0"	0.80	8' max height
W23	8'-0"	0.80	8' max height
W24	8'-0"	0.80	8' max height
W25	8'-0"	0.80	8' max height
W26	8'-0"	0.80	8' max height
W27	8'-0"	0.80	8' max height
W28	8'-0"	0.80	8' max height
W29	8'-0"	0.80	8' max height
W30	8'-0"	0.80	8' max height
W31	8'-0"	0.80	8' max height
W32	8'-0"	0.80	8' max height
W33	8'-0"	0.80	8' max height
W34	8'-0"	0.80	8' max height
W35	8'-0"	0.80	8' max height
W36	8'-0"	0.80	8' max height
W37	8'-0"	0.80	8' max height
W38	8'-0"	0.80	8' max height
W39	8'-0"	0.80	8' max height
W40	8'-0"	0.80	8' max height
W41	8'-0"	0.80	8' max height
W42	8'-0"	0.80	8' max height
W43	8'-0"	0.80	8' max height
W44	8'-0"	0.80	8' max height
W45	8'-0"	0.80	8' max height
W46	8'-0"	0.80	8' max height
W47	8'-0"	0.80	8' max height
W48	8'-0"	0.80	8' max height
W49	8'-0"	0.80	8' max height
W50	8'-0"	0.80	8' max height
W51	8'-0"	0.80	8' max height
W52	8'-0"	0.80	8' max height
W53	8'-0"	0.80	8' max height
W54	8'-0"	0.80	8' max height
W55	8'-0"	0.80	8' max height
W56	8'-0"	0.80	8' max height
W57	8'-0"	0.80	8' max height
W58	8'-0"	0.80	8' max height
W59	8'-0"	0.80	8' max height
W60	8'-0"	0.80	8' max height
W61	8'-0"	0.80	8' max height
W62	8'-0"	0.80	8' max height
W63	8'-0"	0.80	8' max height
W64	8'-0"	0.80	8' max height
W65	8'-0"	0.80	8' max height
W66	8'-0"	0.80	8' max height
W67	8'-0"	0.80	8' max height
W68	8'-0"	0.80	8' max height
W69	8'-0"	0.80	8' max height
W70	8'-0"	0.80	8' max height
W71	8'-0"	0.80	8' max height
W72	8'-0"	0.80	8' max height
W73	8'-0"	0.80	8' max height
W74	8'-0"	0.80	8' max height
W75	8'-0"	0.80	8' max height
W76	8'-0"	0.80	8' max height
W77	8'-0"	0.80	8' max height
W78	8'-0"	0.80	8' max height
W79	8'-0"	0.80	8' max height
W80	8'-0"	0.80	8' max height
W81	8'-0"	0.80	8' max height
W82	8'-0"	0.80	8' max height
W83	8'-0"	0.80	8' max height
W84	8'-0"	0.80	8' max height
W85	8'-0"	0.80	8' max height
W86	8'-0"	0.80	8' max height
W87	8'-0"	0.80	8' max height
W88	8'-0"	0.80	8' max height
W89	8'-0"	0.80	8' max height
W90	8'-0"	0.80	8' max height
W91	8'-0"	0.80	8' max height
W92	8'-0"	0.80	8' max height
W93	8'-0"	0.80	8' max height
W94	8'-0"	0.80	8' max height
W95	8'-0"	0.80	8' max height
W96	8'-0"	0.80	8' max height
W97	8'-0"	0.80	8' max height
W98	8'-0"	0.80	8' max height
W99	8'-0"	0.80	8' max height
W100	8'-0"	0.80	8' max height

FRAMING WALLING SCHEDULE

Wall ID	Material	Notes
W1	8" CMU	8" max height
W2	8" CMU	8" max height
W3	8" CMU	8" max height
W4	8" CMU	8

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS, LEVELS, ELEVATIONS, AND CONDITIONS PRIOR TO STARTING CONSTRUCTION. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECT'S RECORD DRAWINGS AND FIELD SURVEY DATA.

2. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECT'S RECORD DRAWINGS AND FIELD SURVEY DATA.

3. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECT'S RECORD DRAWINGS AND FIELD SURVEY DATA.

4. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECT'S RECORD DRAWINGS AND FIELD SURVEY DATA.

WOOD FRAMING:

1. ALL WOOD FRAMING SHALL BE PERFORMED IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).

2. ALL WOOD SHALL BE DRY-KNIFE KILN DRIED TO A MAXIMUM MOISTURE CONTENT OF 19% AT THE TIME OF INSTALLATION.

3. ALL WOOD SHALL BE TREATED WITH AN ACCEPTED PRESERVATIVE TO PROTECT AGAINST TERMITES AND OTHER INSECT DAMAGE.

4. ALL WOOD SHALL BE PROTECTED AGAINST WEATHER DAMAGE BY A MINIMUM OF 1" OF EXTERIOR FINISH.

5. ALL WOOD SHALL BE PROTECTED AGAINST WEATHER DAMAGE BY A MINIMUM OF 1" OF EXTERIOR FINISH.

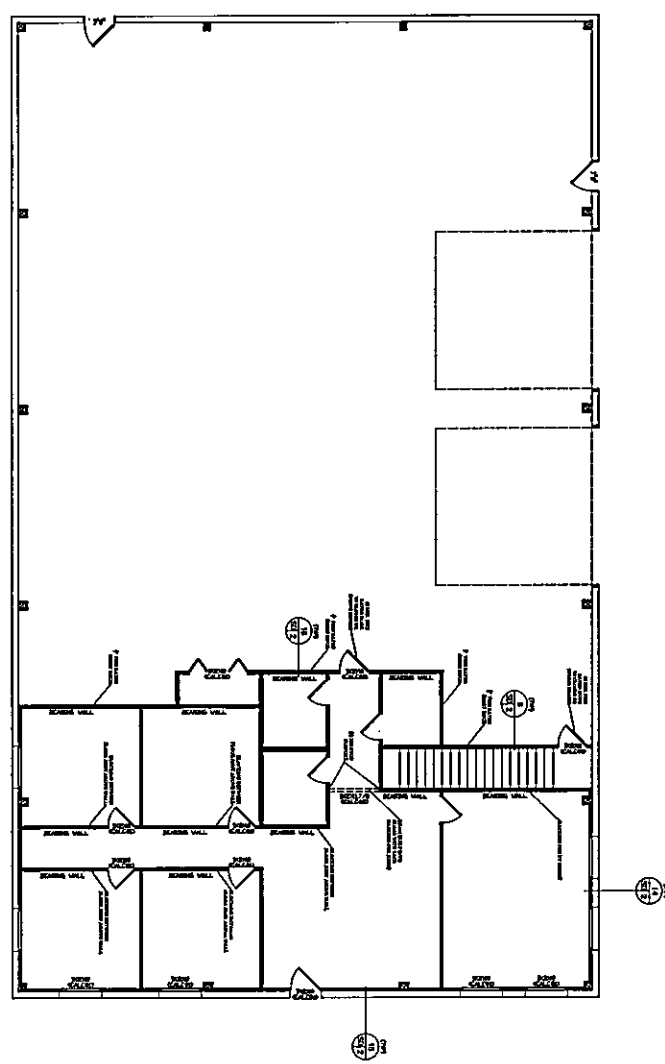
6. ALL WOOD SHALL BE PROTECTED AGAINST WEATHER DAMAGE BY A MINIMUM OF 1" OF EXTERIOR FINISH.

7. ALL WOOD SHALL BE PROTECTED AGAINST WEATHER DAMAGE BY A MINIMUM OF 1" OF EXTERIOR FINISH.

8. ALL WOOD SHALL BE PROTECTED AGAINST WEATHER DAMAGE BY A MINIMUM OF 1" OF EXTERIOR FINISH.

9. ALL WOOD SHALL BE PROTECTED AGAINST WEATHER DAMAGE BY A MINIMUM OF 1" OF EXTERIOR FINISH.

10. ALL WOOD SHALL BE PROTECTED AGAINST WEATHER DAMAGE BY A MINIMUM OF 1" OF EXTERIOR FINISH.



MAIN FLOOR FRAMING PLAN

NOTES TO PLAN:

1. ALL WOOD SHALL BE DRY-KNIFE KILN DRIED TO A MAXIMUM MOISTURE CONTENT OF 19% AT THE TIME OF INSTALLATION.

2. ALL WOOD SHALL BE TREATED WITH AN ACCEPTED PRESERVATIVE TO PROTECT AGAINST TERMITES AND OTHER INSECT DAMAGE.

3. ALL WOOD SHALL BE PROTECTED AGAINST WEATHER DAMAGE BY A MINIMUM OF 1" OF EXTERIOR FINISH.

4. ALL WOOD SHALL BE PROTECTED AGAINST WEATHER DAMAGE BY A MINIMUM OF 1" OF EXTERIOR FINISH.

5. ALL WOOD SHALL BE PROTECTED AGAINST WEATHER DAMAGE BY A MINIMUM OF 1" OF EXTERIOR FINISH.

6. ALL WOOD SHALL BE PROTECTED AGAINST WEATHER DAMAGE BY A MINIMUM OF 1" OF EXTERIOR FINISH.

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10. ALL WOOD SHALL BE PROTECTED AGAINST WEATHER DAMAGE BY A MINIMUM OF 1" OF EXTERIOR FINISH.

DESIGN CRITERIA

DESIGN CRITERIA	DESIGN VALUE
1. WIND LOAD	AS PER ASCE 7-10
2. SEISMIC LOAD	AS PER ASCE 7-10
3. SNOW LOAD	AS PER ASCE 7-10
4. LIVE LOAD	AS PER ASCE 7-10
5. DEAD LOAD	AS PER ASCE 7-10
6. WIND UPLIFT	AS PER ASCE 7-10
7. WIND BRACING	AS PER ASCE 7-10
8. WIND RESISTANCE	AS PER ASCE 7-10
9. WIND DRIFT	AS PER ASCE 7-10
10. WIND OVERPRESSURE	AS PER ASCE 7-10

SCAM SCHEDULE

ITEM NO.	DESCRIPTION	UNIT	QUANTITY	PRICE	TOTAL
1	SCAM	EA	1	100.00	100.00
2	SCAM	EA	1	100.00	100.00
3	SCAM	EA	1	100.00	100.00
4	SCAM	EA	1	100.00	100.00
5	SCAM	EA	1	100.00	100.00
6	SCAM	EA	1	100.00	100.00
7	SCAM	EA	1	100.00	100.00
8	SCAM	EA	1	100.00	100.00
9	SCAM	EA	1	100.00	100.00
10	SCAM	EA	1	100.00	100.00

WALL STUD HEIGHTS & LAMB MARKING

WALL STUD HEIGHT	LAMB MARKING
1.00	100
2.00	200
3.00	300
4.00	400
5.00	500
6.00	600
7.00	700
8.00	800
9.00	900
10.00	1000

FRAMING WALLING SCHEDULE

WALL TYPE	THICKNESS	FINISH
1. EXTERIOR WALL	16"	1/2" GYPSUM BOARD
2. INTERIOR WALL	12"	1/2" GYPSUM BOARD
3. PARTITION WALL	12"	1/2" GYPSUM BOARD
4. STAIR WALL	12"	1/2" GYPSUM BOARD
5. SEAMING WALL	12"	1/2" GYPSUM BOARD

WOOD SPECIES

WOOD SPECIES	GRADE	THICKNESS
1. LUMBER	SELECT	2" x 4"
2. LUMBER	SELECT	2" x 6"
3. LUMBER	SELECT	2" x 8"
4. LUMBER	SELECT	2" x 10"
5. LUMBER	SELECT	2" x 12"



DESIGNED BY
JAY HICKS
C801-569-0517

DATE:
11/29/2025

SHEET FP-1

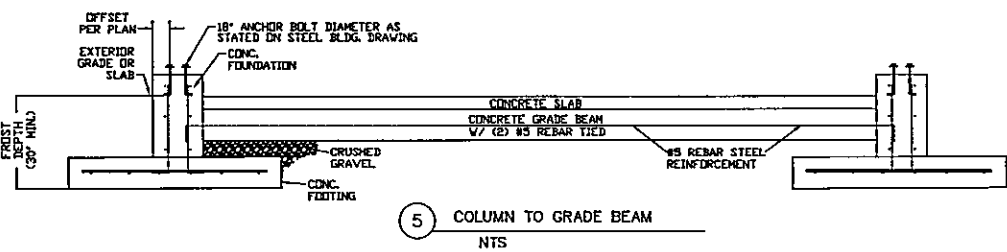
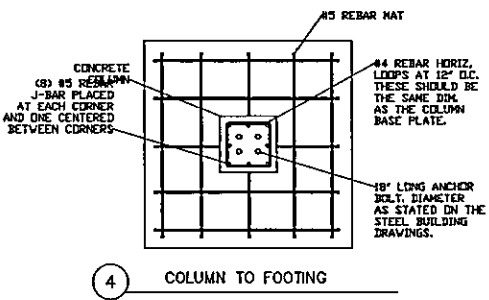
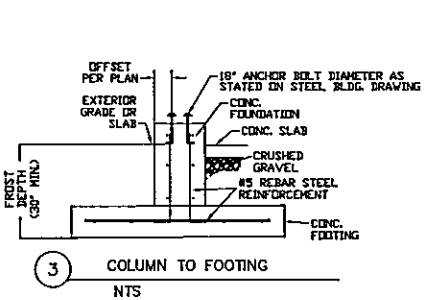
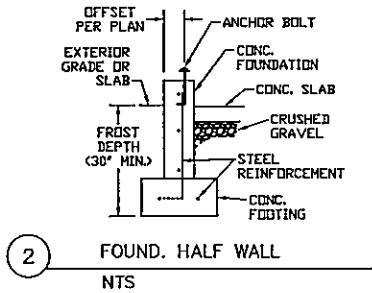
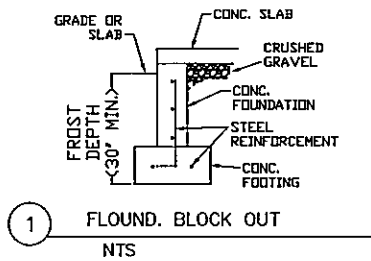
ROMERO CONSTRUCTION SHOP
125 WEST 750 NORTH
WILLARD UTAH, 84340

F3 ENGINEERING
860 WEST 7850 SOUTH
WILLARD, UTAH 84340

COMMENTS

ALL WORK IS TO BE CONFORM WITH THE BEST BUILDING PRACTICES AND CONFORM TO ALL BUILDING CODE REQUIREMENTS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION.

SCALE: N/A



DESIGN CRITERIA

DESIGN CRITERIA	
GOVERNING CODE:	2021 IBC, AS 218-14 SEPARATORY CATEGORY IV
1. LIVE LOADS:	BALCONIES 100 PSF OTHER AREAS 100 PSF
2. SNOW LOAD:	GROUND FN 43 PSF ROOF FN 30 PSF + DRIFT PE 30 PSF DE 1.0 R 1.0
3. WIND:	DESIGN SPEED: 125 MPH 3 SEC. DUST EXPOSURE: C
4. SEISMIC:	SOC D SITE CLASS D (ASSUMED) SMTI 30.0% R 1.5
5. SOIL BEARING:	ALLOWABLE PRESSURE ON NATIVE SOIL: 1500 PSF (ASSUMED)
6. DEAD LOADS:	ROOF 15 PSF (ASPHALT SHINGLES) FLOOR 15 PSF (INCL. DAN TILES) WALL 10 PSF (BRICK, RENDER) WALL 45 PSF (MENEER BRICKSTONE) CONCRETE 145 PSF (FTCS, FOUND, ETC)

CONCRETE SPECS & DETAILING		
ELEMENT	(f'c) NOMINAL	(f'c) RECOMMENDED W/C RATIO
FOOTINGS	2500 PSI	3000 PSI .50
WALLS	2500 PSI	2500 PSI .50
SLEP. SLABS	2500 PSI	2500 PSI .45
SLABS	2500 PSI	4000 PSI .45

- (f'c) STRENGTH BASED ON 28 DAY CURE TIME
- PORTLAND TYPE 1/3 CEMENT
- 25% MAXIMUM CLASS 10" OR 7" FLY ASH BE NEGOT
- 3/4" MAX AGGREGATE SIZE
- 4" MAXIMUM SLUMP
- ADMITTERS ACCEPTABLE EXCLUDING CALCIUM CHLORIDE

STEEL REINFORCEMENT DETAILING & SPECIFICATIONS	
NON-WELDABLE GALL LOADS	ASTM A 633 GRADE 64
WELDABLE	ASTM A 754 GRADE 43 LOW ALLOY
WELDED WIRE FABRIC	ASTM A 185
REINFORCEMENT CONCRETE COVER	CONC. DIMS
EXPOSED TO EARTH (NOT FORMED)	3"
EXPOSED TO EARTH OR WEATHER (FORMED)	2"
NOT EXPOSED TO EARTH OR WEATHER	1-1/2"
REINFORCEMENT OVERLAP LAP SCHEDULE	
SIZE	MINIMUM LAP FOR CONTINUOUS REBAR, UNG.
#3	12"
#4	18"
#5	24"
#6	24"

- CONTRACTOR RESPONSIBLE FOR FORMWORK AND SHORING.
- REINFORCEMENT SUPPORT PER ACI 313
- ROUGHEN CONSTRUCTION JOINT SURFACES TO 1/4" AMPLITUDE OR MORE
- BEND REINFORCEMENT COLD CHISE
- BEND RACE AND HOOK LENGTHS TO CONFORM TO ACI 318
- PROVIDE CONTINUOUS CORNER BARS AT WALL AND FOOTING CORNERS LONG ENOUGH TO MEET REQUIRED LAP LENGTHS.

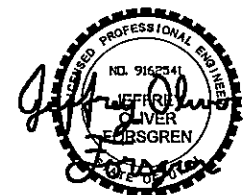
CONCRETE PLACEMENT & CONSTRUCTION SPECS		
1.	VIBRATE AND CONSOLIDATE CONCRETE DURING PLACEMENT AS NEEDED TO ELIM Voids AND SEPARATING OF MATERIAL INGREDIENTS.	
2.	WHEN PLACING CONCRETE IN HOT OR COLD WEATHER, PROVIDE PROTECTION FROM FREEZING OR ACCELERATED SETTING.	
3.	CONCRETE SLAB CONTROL JOINT DEPTH SHALL BE 1/3 THE SLAB THICKNESS AND SPACED NO MORE THAN 30 TIMES THE SLAB THICKNESS OR PER SCHEDULE BELOW, BUT NOT MORE THAN 1.25 TIMES ANY SLAB EDGE LENGTH.	

SLAB THICKNESS	JOINT DEPTH MIN	SPACING MAX
3-1/2"	1-1/4"	8'-0"
4"	1-1/2"	8'-0"
5"	1-3/4"	12'-0"
6"	2"	15'-0"

FROST DEPTH, GRADING, DRAINAGE	
SEE PLAN	NOMINAL FROST DEPTH
SEE PLAN	NOMINAL FRESH GRADE TO TOP OF FROST.

NOTES:

- FROST DEPTH IS THE REQUIRED DEPTH OF THE UNHEATED SIDE OF THE FOUNDATION AND FOOTING, FROM ANY SURFACE OF THE ADJACENT FRESH GRADE TO THE BOTTOM OF FOOTING.
- FRESH GRADE SHALL SLOPE DOWN AWAY FROM HOME FOUNDATIONS AT LEAST 4" OF DROP THE FIRST 10 FEET OF HORIZONTAL DISTANCE.
- CONCRETE SHALL EXTEND OUT AWAY FROM THE FOUNDATION AT LEAST 5 FEET OR INTO AN APPROVED DRAINAGE SYSTEM OR ON SITE PILING.
- ALL LOT DRAINAGE SHOULD BE GRADED TO DRAIN TO APPROVED AREAS, SWALES OR DRAINAGE SYSTEMS, PER THE REQUIREMENTS OF THE GOVERNING CITY OR COUNTY.



23 NOVEMBER 2025

SCALE: NTS

COMMENTS

ALL WORK IS TO BE CONFORM WITH THE PERMITS, PROTECTS AND CONFORM TO ALL BUILDING CODE REQUIREMENTS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION.

F3 ENGINEERING

980 WEST 7650 SOUTH
WILLARD, UTAH 84540

ROMERO CONSTRUCTION SHOP

125 WEST 750 NORTH
WILLARD UTAH, 84540

REVIEWED BY
JEFF FORSGREN
(501)-909-0191

DATE:
11/25/2025

SHEET 50-1

SCALE: N/A

COMMENTS
ALL WORK IS TO BE CONFORMANT WITH THE BEST PRACTICES AND STANDARDS FOR ALL BUILDING CODES AND REGULATIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION.

F3 ENGINEERING
890 WEST 7850 SOUTH
WILLARD, UTAH 84340

ROMERO CONSTRUCTION SHOP
125 WEST 750 NORTH
WILLARD UTAH, 84340

REVIEWED BY
JEFF HENDERSON
4000-369-0817

DATE:
11/29/2025

SHEET 50-5

DESIGN CRITERIA

CRITERION	REQUIREMENT
1. WIND LOAD	AS PER UBC 2020
2. SEISMIC	AS PER UBC 2020
3. FLOOR LOAD	AS PER UBC 2020
4. ROOF LOAD	AS PER UBC 2020
5. WIND UPLIFT	AS PER UBC 2020
6. WIND BRACING	AS PER UBC 2020
7. WIND CURVE	AS PER UBC 2020
8. WIND PROFILE	AS PER UBC 2020
9. WIND EXPOSURE	AS PER UBC 2020
10. WIND RISK	AS PER UBC 2020
11. WIND CATEGORY	AS PER UBC 2020
12. WIND DIRECTION	AS PER UBC 2020
13. WIND SPEED	AS PER UBC 2020
14. WIND PRESSURE	AS PER UBC 2020
15. WIND FORCE	AS PER UBC 2020
16. WIND MOMENT	AS PER UBC 2020
17. WIND TORQUE	AS PER UBC 2020
18. WIND DRIFT	AS PER UBC 2020
19. WIND VIBRATION	AS PER UBC 2020
20. WIND RESONANCE	AS PER UBC 2020
21. WIND TORSION	AS PER UBC 2020
22. WIND SWAY	AS PER UBC 2020
23. WIND ROCK	AS PER UBC 2020
24. WIND SLIP	AS PER UBC 2020
25. WIND LIFT	AS PER UBC 2020
26. WIND COLLAPSE	AS PER UBC 2020
27. WIND FAILURE	AS PER UBC 2020
28. WIND DAMAGE	AS PER UBC 2020
29. WIND DESTRUCTION	AS PER UBC 2020
30. WIND COLLAPSE	AS PER UBC 2020

CONCRETE SPECIFICATIONS
 1. ALL CONCRETE SHALL BE CAST IN PLACE.
 2. ALL CONCRETE SHALL BE CAST AT A MINIMUM TEMPERATURE OF 40°F.
 3. ALL CONCRETE SHALL BE CURED FOR A MINIMUM OF 7 DAYS.
 4. ALL CONCRETE SHALL BE TESTED FOR STRENGTH AND CURING.

ITEM	DESCRIPTION	QUANTITY	UNIT
1	CONCRETE	100	CU YD
2	STEEL REINFORCEMENT	100	LB
3	FORMWORK	100	SQ YD
4	INSULATION	100	SQ YD
5	PAINT	100	SQ YD
6	GLASS	100	SQ YD
7	DOOR	1	EA
8	WINDOW	1	EA
9	ROOFING	100	SQ YD
10	MECHANICAL	100	SQ YD
11	ELECTRICAL	100	SQ YD
12	PLUMBING	100	SQ YD
13	HEATING	100	SQ YD
14	Cooling	100	SQ YD
15	Other	100	SQ YD

STEEL REINFORCEMENT
 1. ALL REINFORCEMENT SHALL BE #4 BARS.
 2. ALL REINFORCEMENT SHALL BE CAST IN PLACE.
 3. ALL REINFORCEMENT SHALL BE TESTED FOR STRENGTH AND CURING.

FORMWORK
 1. ALL FORMWORK SHALL BE CAST IN PLACE.
 2. ALL FORMWORK SHALL BE TESTED FOR STRENGTH AND CURING.

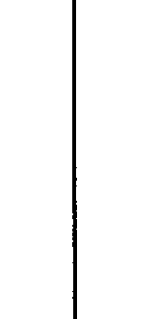
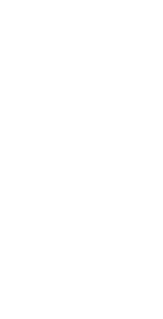
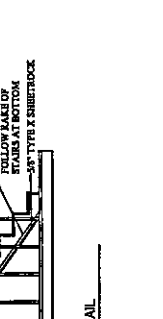
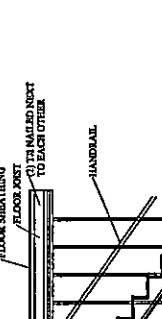
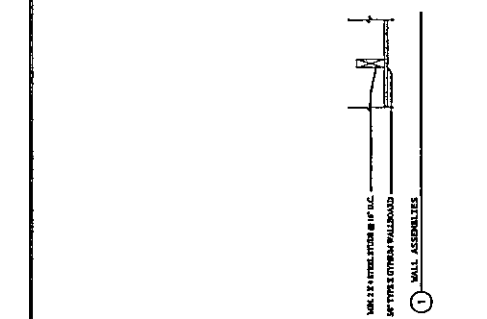
INSULATION
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PAINT
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DOOR
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 2. ALL DOOR SHALL BE TESTED FOR STRENGTH AND CURING.

WINDOW
 1. ALL WINDOW SHALL BE CAST IN PLACE.
 2. ALL WINDOW SHALL BE TESTED FOR STRENGTH AND CURING.



SCALE: N/A

COMMENTS

F3 ENGINEERING

ROMERO CONSTRUCTION SHOP

REVIEWED BY

DATE:

SHEET 50-5

DESIGN CRITERIA

CRITERION	REQUIREMENT
1. WIND LOAD	AS PER UBC 2020
2. SEISMIC	AS PER UBC 2020
3. FLOOR LOAD	AS PER UBC 2020
4. ROOF LOAD	AS PER UBC 2020
5. WIND UPLIFT	AS PER UBC 2020
6. WIND BRACING	AS PER UBC 2020
7. WIND CURVE	AS PER UBC 2020
8. WIND PROFILE	AS PER UBC 2020
9. WIND EXPOSURE	AS PER UBC 2020
10. WIND RISK	AS PER UBC 2020
11. WIND CATEGORY	AS PER UBC 2020
12. WIND DIRECTION	AS PER UBC 2020
13. WIND SPEED	AS PER UBC 2020
14. WIND PRESSURE	AS PER UBC 2020
15. WIND FORCE	AS PER UBC 2020
16. WIND MOMENT	AS PER UBC 2020
17. WIND TORQUE	AS PER UBC 2020
18. WIND DRIFT	AS PER UBC 2020
19. WIND VIBRATION	AS PER UBC 2020
20. WIND RESONANCE	AS PER UBC 2020
21. WIND TORSION	AS PER UBC 2020
22. WIND SWAY	AS PER UBC 2020
23. WIND ROCK	AS PER UBC 2020
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5	PAINT	100	SQ YD
6	GLASS	100	SQ YD
7	DOOR	1	EA
8	WINDOW	1	EA
9	ROOFING	100	SQ YD
10	MECHANICAL	100	SQ YD
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15	Other	100	SQ YD

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INSULATION
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GLASS
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DOOR
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DESIGN CRITERIA

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4	INSULATION	100	SQ YD
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6	GLASS	100	SQ YD
7	DOOR	1	EA
8	WINDOW	1	EA
9	ROOFING	100	SQ YD
10	MECHANICAL	100	SQ YD
11	ELECTRICAL	100	SQ YD
12	PLUMBING	100	SQ YD
13	HEATING	100	SQ YD
14	Cooling	100	SQ YD
15	Other	100	SQ YD

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INSULATION
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PAINT
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 2. ALL PAINT SHALL BE TESTED FOR STRENGTH AND CURING.

GLASS
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 2. ALL GLASS SHALL BE TESTED FOR STRENGTH AND CURING.

DOOR
 1. ALL DOOR SHALL BE CAST IN PLACE.
 2. ALL DOOR SHALL BE TESTED FOR STRENGTH AND CURING.

WINDOW
 1. ALL WINDOW SHALL BE CAST IN PLACE.
 2. ALL WINDOW SHALL BE TESTED FOR STRENGTH AND CURING.

ITEM 2B



WILLARD CITY
Conditional Use Permit (CUP) Review Committee – Special Meeting
June 25, 2025 – 3:00 p.m.
Willard City Hall – 80 West 50 South
Willard, Utah 84340

1 The meeting was a special meeting designated by resolution. Notice of the meeting was provided 24 hours
2 in advance. A copy of the agenda was posted at City Hall and on the State of Utah Public Meeting Notice
3 Website.
4

5 The following members were in attendance:
6

7 Jeremy Kimpton, City Manager
8 Colt Mund, City Attorney (participated in the meeting digitally)
9 Madison Brown, City Planner
10 Chris Breinholt, City Engineer (participated in the meeting digitally)
11 Theron Fielding, Police Chief
12 Van Mund, Fire Chief
13 Payden Vine, Public Works Director
14 Michelle Drago Deputy City Recorder
15

16 Excused: Sid Bodily, Planning Commission Chair, and Chad Braegger, Planning Commission.
17

18 Others in attendance: Danny Olson
19

20 1. CALL TO ORDER
21

22 Madison Brown, City Planner, called the meeting to order at 3:08 p.m. The secretary recorded a roll call
23 attendance.
24

25 2A. REVIEW AND CONSIDERATION OF A REQUEST FROM JULIE OLSON TO PERATE A FOOD
26 CART AT 39 SOUTH MAIN (02-051-0183)
27

28 Time Stamp – 0:00 06/25/2025
29

30 Madison Brown, City Planner, stated that Julie and Danny Olson had applied for a conditional use permit
31 to operate a food cart in the parking lot of The Grumpy Goat Bike Shop, which was located at 39 South
32 Main. The food cart would be called Lunch Box 101. Mr. Olson had provided a site plan, parking plan, and
33 permission from the property owner. There were a couple of food trucks in Willard. The owner of the Kowboy
34 Chuckwagon received a conditional use permit last year to operate a food truck on her own property, which
35 was located on Highway 89. The other food truck was called Daughter vs. Dad. They did not have a
36 conditional use permit because it was based in Pleasant View. They did not have a permanent spot in
37 Willard. She felt the Olson's request should be a conditional use permit because it would have a permanent
38 location in Willard.
39

40 Ms. Brown explained that a conditional use was a use that was allowed with certain conditions. The
41 conditional use would be tied to the property, not the food cart.
42

43 Danny Olson stated that he did not plan to operate the food cart anywhere else. He wanted to be able to
44 keep the cart on the site permanently. He spoke with the Bear River Health Department. They were okay
45 with the food cart as long as the fryer was covered each night and he had access to a commissary. He
46 planned to use the three-compartment sink in The Grumpy Goat as his commissary. Mr. Merrill was also
47 providing restrooms. His wife had applied for a managerial food handler's permit from the Bear River Health
48 Department. They understood what they had to do for the health department.
49



WILLARD CITY
Conditional Use Permit (CUP) Review Committee – Special Meeting
June 25, 2025 – 3:00 p.m.
Willard City Hall – 80 West 50 South
Willard, Utah 84340

50 Mr. Olson said he planned to keep the menu simple and cost effective by offering only three items per
51 week. He only planned to be opened for lunch. He felt lunch was the busiest time. He could not complete
52 with Maddox, nor did he want to. He understood it might take some time to build up a clientele.
53

54 Ms. Brown asked if this business would be seasonal or year-round. Danny Olsen said he planned to be
55 open all year.
56

57 Ms. Brown asked about the parking plan. Mr. Olson said he had told Mr. Merrill that he would pay to have
58 the parking lot striped. He didn't want to complicate things
59

60 Madison Brown asked the City Attorney if the application needed to include a property owner affidavit.
61

62 Colt Mund, City Attorney, was concerned that the applicant for the conditional use permit wasn't the owner
63 of the property. He felt the property owner needed to submit the application because the conditional use
64 permit would run with the property. Mr. Mund was also concerned that Mr. Olson had not provided approved
65 certifications or food handlers' permits from the Bear River Health Department.
66

67 Danny Olson stated that the food cart used to be located at a truck wash he owned in Salt Lake City. He
68 sold the truck wash and moved to Pleasant View. He could get a food handler's permit from the Bear River
69 Health Department. He had information about what was needed to have the food cart approved by the
70 health department. He could not open until he had followed all the guidelines from the health department.
71 The health department was very strict. They had a three-strikes-you're-out policy. He liked to keep things
72 clean and do things by the book so there wouldn't be any problems. He was in a Catch-22. He needed a
73 business license from Willard before he could receive approval from the health department. Willard was
74 saying he needed approval from the health department before he could get a business license. He had to
75 be set up and ready for business before he could get an inspection from the health department.
76

77 Madison Brown asked if Mr. Olson had a food handler's permit. Mr. Olson said he did not, but he could get
78 one if the city wanted one in advance. His wife had started the managerial permit. He used to have one in
79 Salt Lake, but it had expired. If it didn't work out at this location, he didn't plan to move somewhere else.
80

81 Fire Chief Van Mund felt Mr. Olson could get the food handlers' permits before the health department
82 inspected the food cart. Those permits could be turned into Willard.
83

84 Michelle Drago, Deputy Recorder, asked about the difference between a managerial permit and a food
85 handler's permit. Danny Olson said a managerial permit covered and was responsible for food storage
86 requirements. A food handler's permit covered food preparation by individuals.
87

88 Michelle Drago asked if the food cart would interfere with the Daughter vs. Dad food truck who used
89 Spencer Merrill's parking lot as well? If both were there at the same time, would there be enough parking?
90

91 Danny Olson was not aware of another food truck. He hoped they could compliment each other. Madison
92 Brown did not feel Daughter vs. Dad was there enough to be a problem.
93

94 Michelle Drago felt Willard needed an application filed by the property owner, Spencer Merrill, and food
95 handler's permits from the health department.
96

97 Danny Olson felt he could have the permits from the health department by Monday, July 7th.
98



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Conditional Use Permit (CUP) Review Committee – Special Meeting
June 25, 2025 – 3:00 p.m.
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99 Chief Mund asked if Danny Olson had propane tanks on the food cart. Danny Olson said he did, and he
100 had a fire extinguisher. Chief Mund stated that the Fire Department would require a fire extinguisher with a
101 current certification tag.
102

103 Payden Vine, Public Works Director, asked if Danny Olson planned to tie into the city's water system with
104 a hose. Danny Olson said he would not have a hose connected to the building. His cart had a place for
105 water storage, which would be drained offsite. He had talked to two different businesses about dumping his
106 wastewater.
107

108 Mr. Vine asked if Mr. Olson had a booster pump or anything that could potentially force water backward
109 into the city's water system. Mr. Olson said his food cart had a backflow device so he could not flow back
110 into the clean water.
111

112 Payden Vine asked about the dimensions of the parking stalls. Jeremy Kimpton, City Manager, stated that
113 Willard's standard parking space was 9 feet by 20 feet.
114

115 Chris Breinholt, City Engineer, asked how a permanent food truck was different than a building. Jeremy
116 Kimpton said the food cart was less than 200 square feet so it would not meet the requirement for a building.
117 He felt the cart was mobile, even if it was tied down.
118

119 Mr. Breinholt asked about the use of the existing building. Chief Mund said it was currently a bike shop.
120 There was a candy shop south of the bike shop that was only open a few times a year. Mr. Breinholt did
121 not feel shared parking would be an issue. Ms. Brown agreed.
122

123 Van Mund stated that a big portion of the parking area was part of the state right-of-way. A fire hydrant was
124 located behind the sidewalk on the south side.
125

126 Chris Breinholt wondered if UDOT would be concerned about this use. Anytime a use was added to
127 UDOT's right-of-way, they wanted to have a say.
128

129 Payden Vine didn't feel this use would generate enough traffic to be a concern.
130

131 Van Mund felt this was a good location. It was paved, visible, and in the lower speed zone.
132

133 Madison Brown stated that Danny Olson needed to provide the city with food handlers' permits and Spencer
134 Merrill needed to be included in the application. She would reach out to him. The conditions that had been
135 mentioned so far were an up-to-date fire extinguisher, up-to-date food handler's permits, and a Willard
136 business license.
137

138 Colt Mund did not feel the conditional use permit should be approved until Olson's had complied with the
139 list from the health department. He didn't see any evidence the Olson's had attempted to complete it. He
140 didn't feel he had any information to review. He did not feel the conditional use permit should be approved
141 until the city received the proper information and application.
142

143 Danny Olson stated that before the health department would approve his food cart, it had to be in place
144 and ready to serve food. The health department needed to be able to see how food would be stored, check
145 water temperatures, etc. They also had to have their managerial license and food handler's permits. The
146 commissary in Spencer Merrill's building had to have three compartments along with a wash sink. They
147 had to have a restroom within 500 feet of the cart. He felt the conditional use permit could be approved



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148 subject to him obtaining approval from the board of health. He didn't want to spend a lot of money if he
149 couldn't get approval. He felt his food cart would help Spencer Merrill.

150
151 Colt Mund didn't feel the city should rely on Mr. Olson's statement that he had spoken with the Bear River
152 Health Department. He felt Mr. Olson should provide written verification from the health department. The
153 role of the Conditional Use Permit Review Committee was to vet a prospective use and make sure
154 everything was in order before an application was sent to the Planning Commission. The committee was
155 meant to make sure the work was done up front.

156
157 Madison Brown asked if Spencer Merrill's kitchen had been approved by the health department. Danny
158 Olson stated that the kitchen would be approved when the health department made their inspection. He
159 didn't feel there was anything he could do before the health department's inspection. To receive approval
160 to open, he had to be set up for business. He needed a business license from Willard before he could
161 receive approval from the health department.

162
163 Danny Olson stated that his cart had a place for handwashing, and a way to capture and dispose of
164 wastewater. His grills and fryer were NSF rated (National Sanitation Foundation). His cart was stainless
165 steel that could be washed off and cleaned easily. The health department would be concerned about the
166 water tanks, the backflow device, temperature of the water, the commissary, and the restrooms.

167
168 Van Mund stated that if Mr. Olson had a regular food truck that had received approval from the health
169 department and had a business license from his base of operations, he could set up anywhere. A conditional
170 use permit would not be required.

171
172 Colt Mund agreed that a portable food truck was a permitted use in the Commercial General zone.

173
174 Jeremy Kimpton stated that this location was zoned Old Town Willard. This was not a permitted or
175 conditional use in the Old Town Willard Zone.

176
177 Van Mund felt that even though Danny Olson planned to keep the food cart in one location, it was still
178 mobile. He felt Willard was making this more complicated than it needed to be. It seemed Mr. Olson was
179 seeking a conditional use permit to be as legal as possible because he would be there more. Was Willard
180 sure other food trucks had the necessary permits from the health department?

181
182 Colt Mund stated that Chief Mund was suggesting a temporary food truck that was moving around. He
183 didn't feel that was what Mr. Olson had presented. The City Planner needed to determine if this use was
184 temporary or permanent. If the food cart was temporary, it was a permitted use, and the committee didn't
185 need to review the application. If this was a permanent food truck, there were zoning codes that had to be
186 followed. He wasn't comfortable recommending approval of a conditional use permit because Mr. Olson
187 wasn't prepared. He would be satisfied with a letter from the Bear River Health Department that said Mr.
188 Olson's application would not be reviewed until Willard made a decision. He wanted to make sure Willard
189 was approving the application correctly in accordance with its standards.

190
191 Danny Olson felt caught between Willard and the health department. This was like a snow cone shack. The
192 health department didn't inspect them until the shack was set up and ready to open.

193
194 After further discussion, **Jeremy Kimpton moved to table consideration of Olson's application until**
195 **issues could be resolved. Payden Vine seconded the motion. All voted "aye." The motion passed**
196 **unanimously.**



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197 Madison Brown stated that she would meet with Mr. Olson and get more details from the Bear River Health
198 Department. She would also contact Mr. Merrill about submitting an application as the property owner.
199

200 Van Mund felt the administration needed to look at the zoning to see what was possible in the Old Town
201 Willard Zone.
202

203 2B. CONSIDERATION AND APPROVAL OF MAY 15, 2025, MINUTES
204

205 Jeremy Kimpton moved to approve the minutes from May 15, 2025, as written. Van Mund seconded
206 the motion. All voted "aye." The motion passed unanimously.
207

208 3. ADJOURN
209

210 Madison Brown moved to adjourn at 3:59 p.m. Payden Vine seconded the motion. All voted "aye."
211 The motion passed unanimously.
212

213
214 Minutes were read individually and approved on: _____
215
216

217
218
219 _____
220 Madison Brown, City Planner

219 _____
220 Michelle Drago, Deputy City Recorder

221 dc: CUP 06-25-2025